



UPTOWN DELRAY LLC

Uptown Delray, LLC

**306 NE 2nd Street
Delray Beach, FL 33444**

November 2nd, 2018

**Delray Beach Community Redevelopment Agency
20 North Swinton Avenue
Delray Beach, FL 33444**

Reference: Transmittal Letter for CRA Project No-CRA 2018-07

We have one downtown, one beach, one existing central core and one town entrance, lying between the ocean shore and 1-95. This is our opportunity to bring all the segments together after decades of separation and neglect.

In urban terms, one would expect the largest buildings located near the entrance, at 1-95 and the broadest section of Atlantic Avenue. To that end, we have places for a four-story (48' height) building on the western most site, adjacent to the four-story existing hotel; a three-story building follows to the east, and a final two-story building completes the sequence on West Atlantic Avenue ending at SW 6th Avenue. The architectural expression speaks to a sense of place, a sub-tropical locale with an abundance of sun and rain. The liner buildings, all following the Land Development Regulations are provided with a covered 10' pedestrian canopy. Living units are open with large, shaded glass areas, bringing light to the inside spaces and the outside to the inside. Townhouses step back south of the taller frontage buildings, providing a scale transition into the residential community of single-family homes. Hints of color on buildings and street furniture suggest something special about where we live and the rich culture in which we reside. Design should look to the future for our inspiration and a new beginning. What is presented is a modern statement; a new statement about joining communities together.

Now for some specifics:

This is a full, mixed-use development with rental units, retail offices, and a full-services grocer.

- 112 rental units, 73 apartments and 39 townhouses.
- 75 efficiency homes, 18 one-bedroom homes, 75 two-bedroom homes, and 4 three-bedroom homes with 20% workforce housing units dispersed throughout the development.
- Net office space contains 17,268 sq. ft. (22,000 + gross sq. ft.), 7,618 sq. ft. of restaurants, and 40,265 sq. ft. of commercial/retail, which includes a full-service grocery store, designed with all required heights, widths, structural spans together with a loading dock
- Parking on site is 319 spaces with 71 spaces constructed on adjacent streets for a total of 390 usable spaces.
- The amenities provided are: a 2,750 sq. ft. courtyard with fountain centrally located on the three-block frontage, a recreation pool, children's play area and dog walk.
- Construction can begin with 6 months of title transfer of the sale from the CRA to Uptown Delray, LLC.
- Zoning approvals are currently secure by SPRAB and the city commission until year 2022.
- Building permits have been evaluated and are ready for submission once some small variations to building codes are addressed to the existing plans previously prepared (building code changes at the beginning of 2018 were imposed). The preparation of a building permit will require about two-three weeks of re-work.

Why this team?

We are ready to go! A building permit will be filed in early 2019. All approvals for moving forward were agreed upon and enforced, including, SPRAB and the City Commission.

Future land use approval, re-zoning site plan approvals, abandonments,

easements, site plan approval, alley abandonments, an electrical loop system designed for these three blocks plus the existing adjacent hotel, FDOT approval, soil contamination on site evaluated and a containment method designed, to name a few of the approvals have been secured.

SW 6th Avenue through SW 9th Avenue have been redesigned with sewers, gutters, parking, landscaping, sprinklers and drainage. It must be noted this project is under the former LDRs and therefore not required to provide a public park along Atlantic Avenue of some 21,522 sq. ft. +/- or an area of 147'x147'. We are providing a park with fountain of 50 x 55 feet.

We are ready to go!

Signature



Harold Van Arnem, Managing Member

CITY OF DELRAY BEACH



100 NW 1st AVENUE • DELRAY BEACH FLORIDA 33444 • (561) 243-7000

December 11, 2017

Delray Beach CRA
Jeffrey A. Costello, AICP, FRA-RA
20 N. Swinton Avenue
Delray Beach, FL 33444

RE: Uptown Atlantic, Conditional Use and Class V Site Plan Approval Extension Request Pursuant to Executive Order 16-149 and all extensions for Zika, and 17-235 and all extensions for Hurricane Irma.

Dear Mr. Costello:

This letter is in response to the extension request for the Class V Site Plan Modification and the associated conditional use and in lieu parking agreement for **Uptown Atlantic** submitted to the Planning and Zoning Division on December 7, 2017. The basis of the request is a notification letter for a Development Order Time Extension due to a State of Emergency declared by Governor Scott and issuance of an Executive Orders (EO) based on Zika (16-149, EO 16-193, 16-233, 16-288, 17-43, 17-115, 17-166, 17-211 and 17-260), Hurricane Irma (17-235 and 17-287), and Opioids (17-146, 17-178, 17-230, and 17-285). The Executive Order for Hurricane Matthew expired on November 15, 2017, therefore the Executive Order is not in effect.

The site plan approval and associated conditional approval and in lieu parking agreement are currently set to expire on December 9, 2017. The development permit extension of approval time is authorized by Florida Statute 252.363 which permits the tolling time of the EO plus 6 months for each EO. Based on this, the approvals are now set to expire on October 7, 2020.

Please be reminded that prior to the expiration date of the site plan, 25% of the cost of all improvements associated with the approved development must be constructed for this project to be considered established. Any request for an approval extension shall be submitted 45 days prior to the site plan expiration date.

If you have any questions regarding this letter, please do not hesitate to contact me at (561) 243-7040, or via email at stillings@mydelraybeach.com.

Sincerely,

Timothy R. Stillings, AICP
Planning, Zoning, and Building Director



1900 NW CORPORATE BLVD
EAST TOWER | SUITE 450
BOCA RATON, FL 33431
TELEPHONE: (561) 869-4346
FACSIMILE: (561) 361-7276
roxanneregister@dkatz.com
www.katzassociates.com

ROXANNE REGISTER
VICE PRESIDENT, LEASING & SALES

November 1, 2018

Harold VanArnem
VanArnem Properties
306 NE 2nd Street
Delray Beach, FL 33444

email: vapgroup.com


To Whom It May Concern:

I am the listing Broker for the previous Uptown Atlantic Developer. At that time I had a grocery Store and 70% of the project preleased in the retail sector. The retail leases were for excellent uses for the downtown area, including:

- a coffee shop
- full service sit down American restaurant and bar
- Pizza shop
- Dress Shop
- Work out facility
- Nails and spa
- Quick serve sandwiches and soups (local)
- Asian Bistro
- Breakfast restaurant (local)
- Cigar Bar
- Full Service Grocery Store

Should Uptown Atlantic succeed in capturing the bid once again, I am certain I can lease the retail spaces and the Grocery Store.

Regards,
Katz & Associates


Roxanne Register
V.P. Leasing and Sales

Index

Attachment I - Development Team Experience

Attachment II - Fiscal Impact

**Attachment III - Floor plan / Use plan
submittal**

Attachment IV - Proforma and Project costs

SUBMITTAL REQUIREMENTS AND FORMAT

A. TAB #1 - Letter of Transmittal

Please include a general introduction statement identifying the party responding to this RFP and its understanding and commitment to the project, and a statement of understanding of the goals and desires of The Set community related to the type of project envisioned for the SW 600-800 Blocks of West Atlantic Avenue. Also include a general introduction statement identifying the party responding to this RFP and an acknowledgement letter in the form attached as Exhibit "F" and signed by the Proposer

LETTER OF TRANSMITTAL ATTACHED

UPTOWN DELRAY, LLC (A NEW FLORIDA LIMITED LIABILITY COMPANY TO BE FORMED)

SEE DEVELOPMENT TEAM EXPERIENCE ATTACHMENT I

B. TAB #2 - Firm Information, Qualifications, and Experience

A. Prime Firm Information: please include

(a) firm name, address; telephone and fax numbers email address:

UPTOWN DELRAY, LLC (A NEW FLORIDA LIMITED LIABILITY COMPANY TO BE FORMED)

306 North East 2nd street
Delray Beach, FL, 33483

Harold Van Arnem(managing member)
561-272-2912 (telephone) and 561-272-2825 (fax)
vanarnem@bellsouth.net

(b) ownership/organization structure:

Florida Limited Liability Company

(c) parent company if applicable):

N/A

(d) officers and principals:

Harold Van Arnem (managing member)

B. Partner or Affiliated Firm: please include:

(a) Firm name, address, telephone number, fax number and email address for each Partner, Equity Partner or Affiliated firm participating in the development project:

- N/A

(b) ownership structure and/or affiliation with the Prime Firm:

- N/A

(c) officers and principals and key personnel:

- N/A

C. Description and qualifications of all key personnel above, including: (1) the principal- in-charge; (2) the partners; (3) the project manager; (4) the general contractor if applicable; and (5) all other key personnel or sub consultants who will be assigned to the project. Provide a brief description to include qualifications and years of experience for each individual, as well as resumes.

- SEE ATTACHMENT I FOR DEVELOPMENT TEAM BIO'S PROJECT EXPERIENCE

Provide an organization chart identifying all individuals who will participate in the proposed project. Only individuals that will be actively involved and engaged in the development of the site can be listed as key personnel.

- Principal in Charge: Harold Van Arnem
- Senior Project Manager in charge of Construction and Leasing: William Morris
- Assistant Project Managers in charge of Construction and Leasing: William A. Cunningham III / Maxwell Van Arnem
- General Contractor: to be determined from competitive bid
- Owner's Representative: to be selected from Delray Beach
- Property Leasing: Rachael Davis, Regional VP, Lincoln Property Management
- Property Maintenance: Rachael Davis, Regional VP, Lincoln Property Management
- Accounting: Morrison and Swank, PA, Delray Beach
- Financing: Harry Seidman
- Community Inclusion and local job creation: Collective Community Initiative, LLC, Dahlia Baker, Member

- Architecture and Engineering; CSA, Delray Beach
- Real Estate Broker, Roxanne Register
- Dwight Stephenson General Contractor

D. Professional References: Please provide three (3) professional references from projects completed in the last seven (7) years.

Harold Van Arnem;

Greg Linder
General Contractor
2721 Hampton Cir W
Delray Beach, FL 33445

Rick Simpson
Legacy Bank
50 NE Avenue
Delray Beach, FL 33444

Joseph Pike
Civil Engineer
298 NE 2nd Ave
Delray Beach, FL 33444

C. TAB #3 — Project Design/Development Concept

A. Project Overview: A general overview of the proposed development project, including but not limited to: (1) Proposer(s) analysis of the proposed project; (2) renderings of the proposed project; (3) a description of the proposed project, including unique features and opportunities; and (4) impact of and relationship to adjacent properties. Proposer(s) should demonstrate how the vision for the Project Site will create an economically viable destination that will complement the adjacent residential community, create jobs, and compliment the rich history of The Set.

- See Transmittal Letter

B. Site Plan Submittal: Submit a conceptual site plan and one or two conceptual elevations on a sheet or sheets measuring 24" by 36" at a scale of one-inch equals twenty feet (1" = 20'). The site plan should include, at a minimum, the location of proposed building(s) and the public streets surrounding the site. The plans must indicate the height(s) of all proposed buildings. Parking, sidewalks, and major landscaping features should be illustrated. In addition, the Proposer(s) should reduce the site plan to a format measuring 8 1/2" by 11" or 11" by 17" for ease of distribution, and an electronic version of the same on

PDF format.

- See Attachment III

If additional property/properties is/are to be incorporated into the proposed development, the RFP response must include proof of ownership of that property or a notarized letter of intent/interest from the property owner. If additional property/properties is/are to be used to meet the minimum requirements for off-site parking, a valid, signed agreement for the use of the property in compliance with the LDR's must be included in the RFP response. In the absence of such documentation, the additional property/properties or parking will not be considered in evaluating the proposal.

- N/A

- C. Floor Plan: Submit basic floor plans of the proposed buildings on a sheet or sheets measuring 24" by 36", primarily for the purpose of indicating the square footage of each use. The Proposer(s) may choose an architectural scale appropriate to communicate the concept of the proposed project. In addition, the Proposer(s) should reduce the floor plans to a format measuring 8 1/2" by 11" or 11" by 17" for ease of distribution, and an electronic version of the same on PDF format.

- See Attachment III

- D. Use Plan Submittal: State the anticipated uses within the proposed project and specify the total square footage of the proposed project and the breakdown of each proposed use. Proposer(s) should consider the Priority Uses for the Project Site described in Section III. D in formulating their use plan.

- See attachment III

A full-service grocery store must be included in the Use Plan. The Proposer(s) response shall include a letter of intent from a grocer and must clearly define the type of grocer, the proposed size or square footage, and the timeline to open the grocer.

- See site plans within this transmittal and Attachment III

The Use Plan must also include a residential component utilizing the City's Article 4.7 Family/Workforce Housing density program and be currently permissible under the City LDR's.

- See site plans within this transmittal and Attachment III
- For the commercial uses in the proposed development, the Proposer(s) may submit letters of intent from

committed and/or potential commercial tenants.

- Roxanne Register, Licensed Real Estate Broker, will provide list of potential tenants including grocer upon selection.

E. Schedule: Submit a time schedule for the completion of the project including the building, parking, and off-site improvements. The CRA's preference is a single-phase development, however, if the project is proposed to be developed in phases, then the time schedule should reflect the phases based upon realistic development time frames.

- Construction could begin as early as 6 months. See transmittal letter.

D. TAB #4 — Financial Structure

A. Project Cost: Submit a total project cost analysis stating, by category, the major elements of the project. The major cost items shall include, at a minimum, land costs, site development costs (including but not limited to paving, grading, drainage, landscaping, site lighting, right-of-way improvement, and surface parking) building construction costs (including parking garages, if applicable), permit and impact fees, tenant improvement allowances, architectural and engineering costs, marketing costs, financing costs, and any other significant costs.

- See attachment IV

B. Operating Pro Forma: Submit a preliminary operating pro forma estimating the development's operating income and expenses for a period of time (minimum 3 years) after completion to demonstrate financial feasibility.

- See attachment IV

C. Sales/Lease Information: Projections of sales and/or leases over time. This should also provide information on anticipated sale/lease rates for the commercial and residential uses, including vacancy contingency through time. Estimates of project operating expenses (including property taxes, insurance and maintenance costs), annual debt service, and marketing and sales costs. Gross Income, Net Operating Income, Proposer(s) Cash-Flow before taxes, and Return on Investment to project partners and investors.

- Lincoln Property Company will provide the schedule for leasing which will be attached to the Development Agreement after selection.
- Leasing for the grocer will be consummated shortly after

selection of the Proposer who has on going conversations with several national grocers. Leasing for retail spaces will commence likewise upon selection but is expected to require a period of eighteen months to secure. Leasing for the displaced tenants will commence upon selection.

D. Financing Plan: Submit a financing plan which includes a proposal for securing construction and permanent financing for the project. The financing plan should account for all debt and equity investment required to fund the project as well as an analysis of the project's return on investment, debt service coverage ratio and other financial information that will indicate the financial strength of the proposed development. Third party evidence of an ability to secure financing such as a preliminary financing commitment letter or letter of interest from a lending institution or other primary source of investment financing must accompany the RFP response. A firm financing commitment from a lending institution or other source of investment financing will be required prior to the closing of the sale of the land, or as otherwise stipulated in negotiated agreements between the proposer and the CRA.

- Construction and Permanent loan will be completed once the project costs are determined by a complete bid process which should be in early 2019. The financing will be secured prior to closing and be part of the development agreement.
- Equity financing will be derived from each of the partners.
- See financial proforma for description of equity and debt requirements.

E. TAB #5 — Fiscal Impact

A. Provide an estimate of the fiscal impact of the proposed project.

- See attachment II Measurement of economic impacts PMG associates.

B. Provide information on the number and types of job generation expected upon stabilization of the proposed project.

- See Attachment II Measurement of economic impacts PMG associates.

C. Identify any requests for CRA incentive programs, amount of funding requested, details of the costs and financial benefits to the CRA as well as details of how the proposed incentive is consistent with the objectives of the Community Redevelopment Plan and the applicable plans adopted by the City.

- THE PROPOSER WILL APPLY FOR ANY APPLICABLE CRA INCENTIVES FOR THE PROJECT.

D. *If a public-private partnership with the CRA is contemplated, the terms of such an arrangement must be specified, including the proposed financing arrangements, ownership structure, the responsibilities of each entity, and other pertinent information.*

- N/A

E. *Identify the purchase price, lease terms or financial structure proposed for acquisition/lease of the site. A firm purchase price or specific financial purchase/lease terms is required. The failure to comply with the "Terms of Purchase" provisions will result in disqualification of the proposal.*

- Uptown Delray, LLC offers \$4,150,000 for the purchase of the property. A deposit will be provided at the time a development agreement is executed in the amount of \$50,000. Fifty percent of the land cost will be paid at final certificate of occupancy of the project and the other fifty percent will be paid at rent stabilization of the project (Rent stabilization is defined at 85% occupancy). Evidence of financing will be provided by a commitment letter by a bank acceptable to the CRA and evidence of equity will likewise be provided by either a letter of credit or bank statements or a combination of both.

F. *Proposer(s) shall enclose a check in the amount of Twenty-Five Thousand and 00/100 Dollars (\$25,000.00) payable to the CRA as a deposit. Proposer(s) not selected for negotiation will have their deposits returned. Deposit will be applied to the purchase or lease term for the selected Proposer(s).*

- Accepted, see check enclosed

F. TAB #6 — Community Inclusion

A. Relocation Plan Submittal: *Provide a Relocation Plan for the four (4) tenants presently in possession of four (4) separate leaseholds currently located on the subject property at 702 and 704 West Atlantic Avenue (Klein's Multi-Services & Blanc Fresh Cut Barber Shop). The relocation site may consist of comparable or greater space made available within the Proposer(s) redevelopment site. The proposal must specify the minimum square footage and ownership or leasing arrangement, including estimated costs. If the proposal provides relocation space on the premises, arrangements must be made for temporary business location during the construction period.*

- Existing tenants will be contacted upon selection for inclusion in the Project under a new lease term. See Transmittal Letter

B. Local Inclusion and Participation Submittal: As a result, and to support the Community Redevelopment Plan and the needs of the community, Proposer(s) must provide a Local Inclusion and Participation Plan with at least the following components:

- A local small business participation and inclusion plan to provide opportunities for at least six (6) subcontractors or vendors who have their primary residence or registered physical business within the US Postal Zip Codes of 33444, 33445, and 33483 within the incorporated city limits of the City of Delray Beach.

By way of example, vendors may include suppliers, manufacturers, consulting firms, architects, attorneys, engineers, companies providing surveying or testing, or any other services that are relevant to construction.

- Accepted by Proposer
- A local hiring plan for the proposed project that is verifiable and features skilled and unskilled construction jobs with livable wages for at least 30 (thirty) local persons whose primary residence is in the following Priority Census Tracts: 66.04
- The Proposer will engage the firm of Dahlia Baker whose expertise is well known to train residents to apply for jobs created by the general contractor as well as subcontractors and property managers. The selected general contractor will have the obligation to satisfy the local hiring plan established by Dahlia Baker.
- A schedule of at least two (2) job fairs conducted by the Proposer(s) and/or General Contractor within the CRA District to notify local contractors and Vendors of the bid opportunities related to the construction of the project.
- Accepted by the Proposer; Dahlia Baker will design and manage the job fairs.
- A schedule of at least two (2) job fairs conducted by the Proposer(s) and/or General Contractor within the CRA District to notify skilled and unskilled laborers of job opportunities related to the construction of the project.
- Accepted by the Proposer. Dahlia Baker will perform all measures for this activity.

- A willingness to work with the CRA and other community partners such as the City's Office of Economic Development, Inc. Pad, CareerSource Palm Beach County et al. when seeking local laborers and subcontractors to and support community benefits detailed in the proposal.
- Accepted by Proposer. Dahlia Baker will coordinate job creation with the city and county.

Note: Proposer(s) are encouraged to provide a construction management teaming plan with local general contractors whose business or owner's residential address is within the US Postal Zip Codes identified above.

- Accepted by Proposer. Dahlia Baker will coordinate job creation with the final selected general contractor and subcontractors.

G. TAB #7 - Sample Projects and References

A. Provide a detailed description of at least two (2) but not more than four (4) completed development projects within in the last ten (10) years that are similar in size and scope to what would be proposed for this development site. Please provide physical address for each sample project.

- 306 North East 2nd Street Delray Beach, Florida 33483. 7,000+ SF Class A office suites. Building features 2 stories 50+ parking spaces on .8 acres. Mixed use office and salon space.
- 55 North East 5th Avenue Delray Beach, Florida 33483 20,000sf class A office building with 4 floors.
- 200 NE 5th Ave Delray Beach, FI 33444 Hampton Inn 150 room hotel.
- Other projects of the Project Manager, William Morris, Southcoast Partners, include Worthing Place, Delray Beach, Palmetto Place, Boca Raton, and 1350 Main, Sarasota. These projects are examples of urban, mixed-use projects of outstanding success. Each of these projects were in excess of \$40,000,000. Worthing Place is the most important public private partnership in Delray Beach to date.

B. Provide pictures, architectural rendering or plans, site plans, or other documents to thoroughly describe the project as built.

- See Attachment III

C. Provide total project costs, the financing structure, timeline from design to completion, and other elements related to financing and completing the project.

- N/A

D. Provide information on the ownership and development team and organization for each project(s) including Principals, Partners or Joint Venture Partner, General Contractors, sub consultants, and others involved in the project and their roles.

- N/A

E. Provide a name and contact information for each project(s) from the public sector with awareness or direct experience such as a development, planning, permitting, or building official related to the project(s). If the entity has not engaged in a public private project, please provide public sector references who can speak to the entities capability. Please provide a minimum of 2 projects or references.

- N/A

F. Provide a list of all governmental entities/clients with which the entity responding to the RFP, its directors, officers, and principals have had a similar contract for development, within the past seven (7) years, and provide the name, address, and telephone number for each director, officer, and principal.

- N/A

Note: Please note that in assessing the qualifications of the Proposer(s) the CRA may visit each project site submitted.

H. TAB #8 — Financial Capacity and Capability

A. Provide relevant financial information to substantiate the entities ability to finance or secure financing for the project including but not limited to: available equity and/or a percentage share of equity that can be provided by the proposer to the project, identification of other equity partners and the relationship thereof with the proposer, or written statements from financing sources as to the entities past performance and likelihood of

financing for this project (does not require a letter of commitment).

- Partner B (Harold Van Armen) has a net worth of more than \$15 million and with no debt.
- Proposer will provide disclosure such as evidence of net worth and cash-on-hand on a confidential basis when selected.

B. Proposer(s) must make available for inspection at his or her place of business, a current (audited, if available) financial statement of the proposing entity which includes a balance sheet, a three-year statement of past income, and a projected one-year income statement for the current fiscal year for the proposer (and its parent entity if it is a subsidiary). If the proposing entity is to be created specifically for the intended

project or if the proposing entity is less than three years old, then each partner or stockholder must submit its own financial statement as described above.

- Accepted and agreed by Proposer

I. TAB #9 — Litigation, Disciplinary Proceedings, and Conflicts

A. Provide a list and description of any litigation matters, including arbitration proceedings, in the past seven (7) years, whether civil, criminal, or foreclosures, bankruptcy proceedings involving the entity responding to the RFP, its directors, officers, and principals who will be involved in the proposed project. Include a description and details for each case, specifying the court and case/docket number.

- None

B. Identify any type of disciplinary proceeding which the entity responding to the RFP its directors, officers, and principals who will be involved in the proposed project have been involved in in the past seven (7) years, and provide a description of each such disciplinary proceeding.

- None

C. Identify any existing or potential conflicts of interest and disclose any contracts, agreements or other relationships of the entity responding to the RFP its directors, officers, and principals who will be involved in the proposed project, that might be considered a conflict of interest with either the CRA or the City with regard to the development at the Project Site.

- None

J. TAB #10 — Additional Considerations

Identify any additional or unique resources, capabilities, or assets which the Proposer(s) believes is beneficial to consider in reviewing the qualifications.

- The Proposer has gained the rights to the previously submitted architectural plans and specifications for implementation of the project. This allows the Proposer to deliver the project to completion within 24 months and an additional 12 months for retail tenant build-out. The dates commence upon the day of approval of a development agreement.

ATTACHMENT

I

HAROLD L. VAN ARNEM

306 NE 2ND Street, Suite 20
Delray Beach, FL 33483

Principal

Harold (“Sonny”) and Bridget Van Arnem moved to Florida in 1989 when they relocated the national headquarters of Finalco, Inc. to South Florida, transferring three hundred families from McClean, Virginia to Boca Raton. They purchased oceanfront property in Delray Beach and built their family home at 733 N. Ocean Drive.

Sons Adam, Max and Sean were raised there and attended schools at St. Vincent, St. Joseph and Pope John Paul. After merging Finalco and its subsidiaries into Gemini, Inc., Harold co-founded CyberGate, the first internet service provider in the southeastern United States and created ValueWeb and TargetNet, one of the first web-hosting companies in the world. Harold started Van Arnem Properties, Inc. in 2003 and began purchasing and developing properties in downtown Delray Beach. Projects such as Royal Atlantic (Condominiums and Retail at 12 SE 1st Avenue), Town Square (Class A Office at 55 NE 5th Avenue), and Santa Fe Suites (Personal Care Suites at 306 NE 2nd Street), as well as a dozen refurbishment and multi-tenant housing units, have been the primary focus of Van Arnem Properties for the last twelve years.

After the death of Harold and Bridget’s oldest son, Sonny conceived and commenced development on “The Adam”, an upscale luxury boutique hotel and spa with fifty rooms. The Adam is partnering with cultural arts groups from the community and local artworks will be on display throughout the main floor and all corridors of the hotel. All hotel guests will be invited to interact with and experience the local arts community. The Adam will also have a roof top garden, pool, restaurant and bar.

After returning from Europe as CEO of Total e, Van Arnem Properties (VAP) was founded in 2002. VAP since then has purchased, sold and developed over a dozen properties in downtown Delray Beach. Which includes Santa Fe Suites which was awarded best redevelopment by the Delray beach Chamber of Commerce. Santa Fe Suites was a redevelopment of former crossroads (AA) which now includes 22 independent health care professionals. VAP also went later on to develop Town square which is currently a Class A office building. VAP currently along with its partners have planned and seeking approval on a 150 room Hampton Inn at 200 NE 5th Ave Delray Beach, Fl 33444.

Southcoast Partners, Inc_(William E. Morris).

Project Manager

William E. Morris has created and preserved significant value for clients and Florida communities for over 35 years through consulting and development of landmark residential and commercial real estate projects. He has been responsible for successful development of over 15 million SF of office and retail space and more than 2,000 residential units. In addition to his role directing Park View's growth and operations, he brings clients expert consulting for challenges including due diligence, zoning and entitlements and development.

In his ongoing role as owner of Southcoast Partners since 1991, Bill has developed projects including the upscale, 217-unit Worthing Place apartments in downtown Delray Beach, and spearheaded the condo development of 1350 Main in downtown Sarasota and condo conversion of Runaway Beach Club in Lake Buena Vista, FL. His recent consulting projects include the eight-acre Atlantic Crossing in Downtown Delray Beach and the Midtown Delray development on Swinton Ave., including the Sundry House.

Relocating to Florida from Ohio in 1985, Bill was President of Arvida/JMB Partners, responsible for all aspects of residential and commercial development, zoning, brokerage and property management.

Education:

He has a B.A. in Business Administration degree from Wittenberg University and a J.D. degree with honors from Case Western Reserve School Law.

Interests:

He is a longtime leader in organizations including Florida Atlantic University, the Delray Beach Center for the Arts, and is a founder of the Boys and Girls Club of Boca Raton. For many years, he has been active in the Urban Land Institute and the International Council of Shopping Centers.

CONSULTING AND DEVELOPMENT PROJECTS (Partial List)

OCEAN ONE – 231 unit, eight story project with a seven level 400 car integrated structured parking garage. Approvals include an eight year TIF rebate totaling over five million dollars on a non-NPV basis.

VISTA CLARA DEERFIELD – 326 unit six story urban residential complex near downtown Deerfield Beach. Regulatory approvals are about 70% completed with the City and Broward County. Expected completion of approvals in mid-November, 2018 with ground breaking late in the first quarter 2019.

RESIDENTIAL / MIXED – USE

WORTHING PLACE - 217 unit upscale urban apartment project with 13,000 SF of retail and a 400 car structured parking garage, Delray Beach, FL. ***

1350 MAIN – 17 story urban condominium project with 8,000 SF retail – Sarasota, FL.

RUNAWAY BEACH CLUB – 192 unit upscale condominium conversion residential project – Lake Buena Vista, FL.

PALMETTO PLACE – 245 unit upscale urban condominium project with 15,000 SF retail – Boca Raton, FL.

HIGHLAND BEACH CLUB – 200 unit condominium conversion project in Highland Beach, FL.

BRIDGESIDE SQUARE – 246 unit upscale urban condominium (formerly rental apartments) complex with 15,000 SF of retail, 28,000 SF office and a 1,172 car structural parking garage – Ft. Lauderdale, FL.

**** This is the largest Public – Private Partnership Project ever developed in Delray Beach which includes the 202 car structured Parking Garage (Federspiel Garage) deeded over to the City of Delray Beach.*

OFFICE BUILDINGS

1801 Military Trail Building – 65,000 SF, Boca Raton, FL.

120 East Building; Merrill Lynch Building – 70,000 SF, Boca Raton, FL.

150 East Building; Bank of America Tower – (redevelopment), 125,000 SF, Boca Raton, FL.

Smith Barney Building – 12,200 SF, Boca Raton, FL.

Mizner Place; Morgan Stanley Smith Barney – 30,000 SF, Boca Raton, FL.

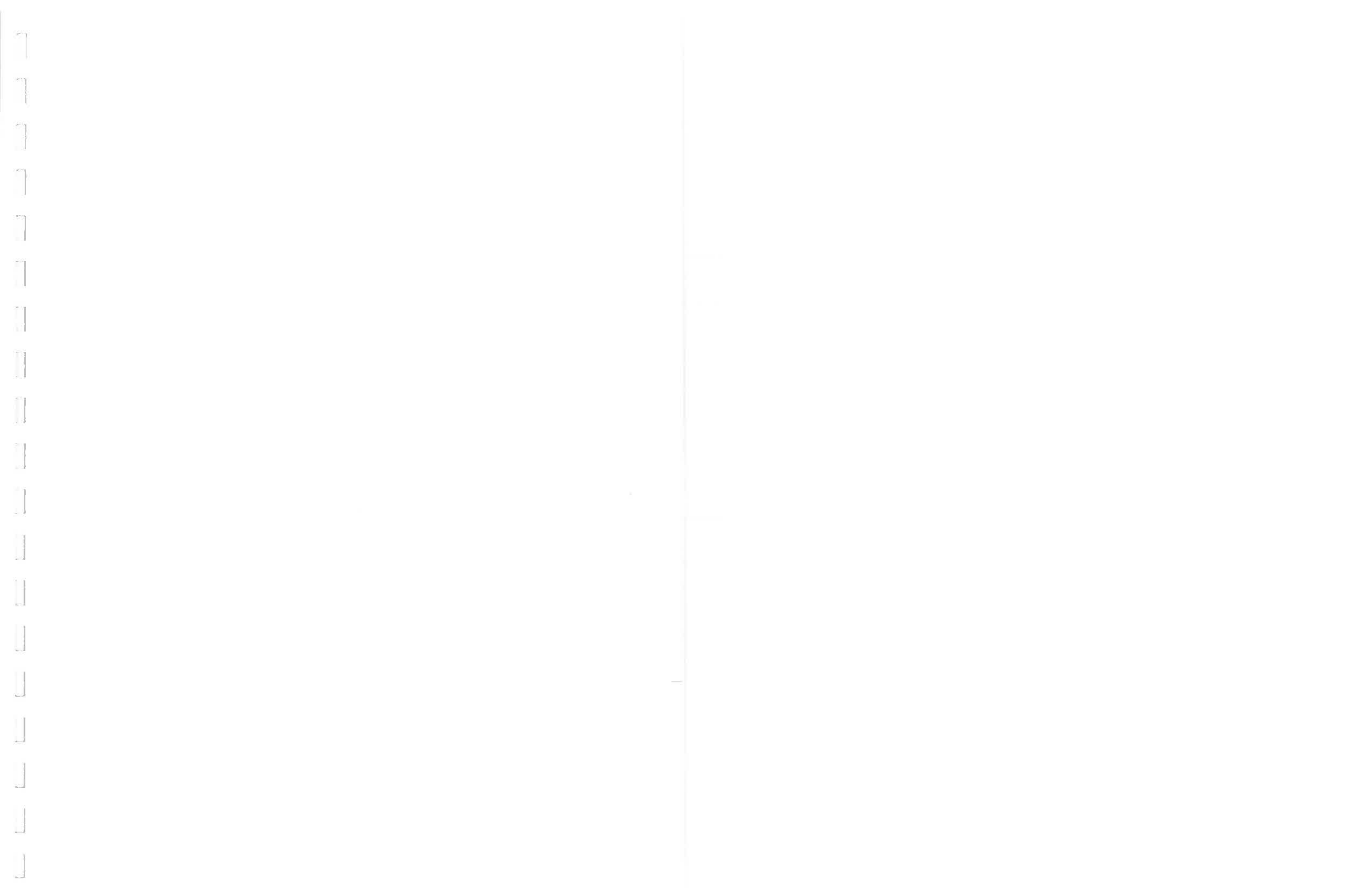
General Contractor

Selected by a competitive bid. The following firms will be considered for bidding:

- Stephenson Construction Company
- Kaufman Lynn Construction

Architect

- CSA Architects



ATTACHMENT

II

UPTOWN DELRAY, LLC

IMPACT OF LOCAL ECONOMY

Retail	43,638 SF
Office	34,000 SF
Residential	129 Rental Units
Parking	457

Revenue Impact	4,199,00
Project Costs	50,000,000
Taxable Value	50,000,000

Div Impact to City

20 Years	8 – 9 Million
----------	---------------

IMPACT OF LOCAL ECONOMY

Employment Housing

Office	136
Retail	125
Residential	<u>6</u>
	267

Employee Spending (Counsel)

Office	791,344
Retail	<u>428,284</u>
	1,219,628

Resident Retail Spending

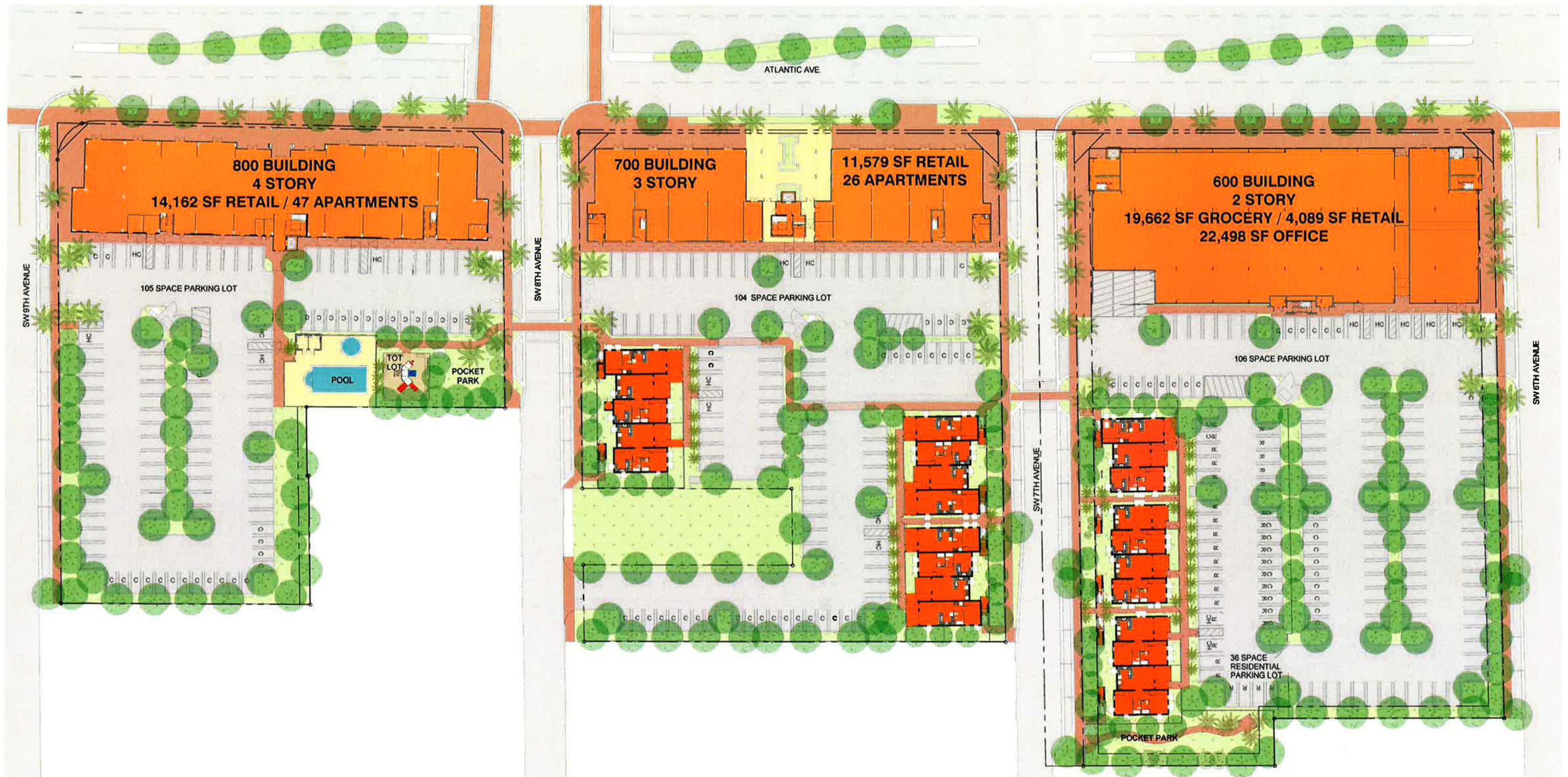
\$2,150,000

Sales Tax _____

1,450,000

ATTACHMENT

III





UPTOWN DELRAY LLC

AERIAL

10/30/18

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UPTOWN DELRAY LLC

600 BLOCK - GROCERY STORE & OFFICES

10/30/18





UPTOWN DELRAY LLC

600 BLOCK, VIEW FROM THE SOUTH

10/30/18

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UPTOWN DELRAY LLC

700 BLOCK, RETAIL 2 FLOORS OF APARTMENTS

10/30/18





UPTOWN DELRAY LLC

700 BLOCK, VIEW FROM THE SOUTH

10/30/18

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UPTOWN DELRAY LLC

800 BLOCK, DETAIL, 3 STORIES OF APARTMENTS

10/30/18





UPTOWN DELRAY LLC

800 BLOCK, VIEW FROM THE SOUTH

10/30/18

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ISSUED FOR :

BIDS

PERMIT

CONSTRUCTION

SEAL

PROJECT TITLE

**UPTOWN
ATLANTIC**

600, 700, 800 BLOCK W.
ATLANTIC AVENUE DELRAY
BEACH, FL

REV.	DESCRIPTION	DATE
1	SPRAB COMMENTS	6/21/15
2	Parking CMTS	11/5/15
3	Site Certification	5/6/16

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PROVIDING A COMPLETE AND
OPERATIONAL BUILDING WHETHER
INDICATED ON THE PLANS OR NOT.

TITLE BLOCK

DRAWING TITLE

**OVERALL SITE
PLAN**

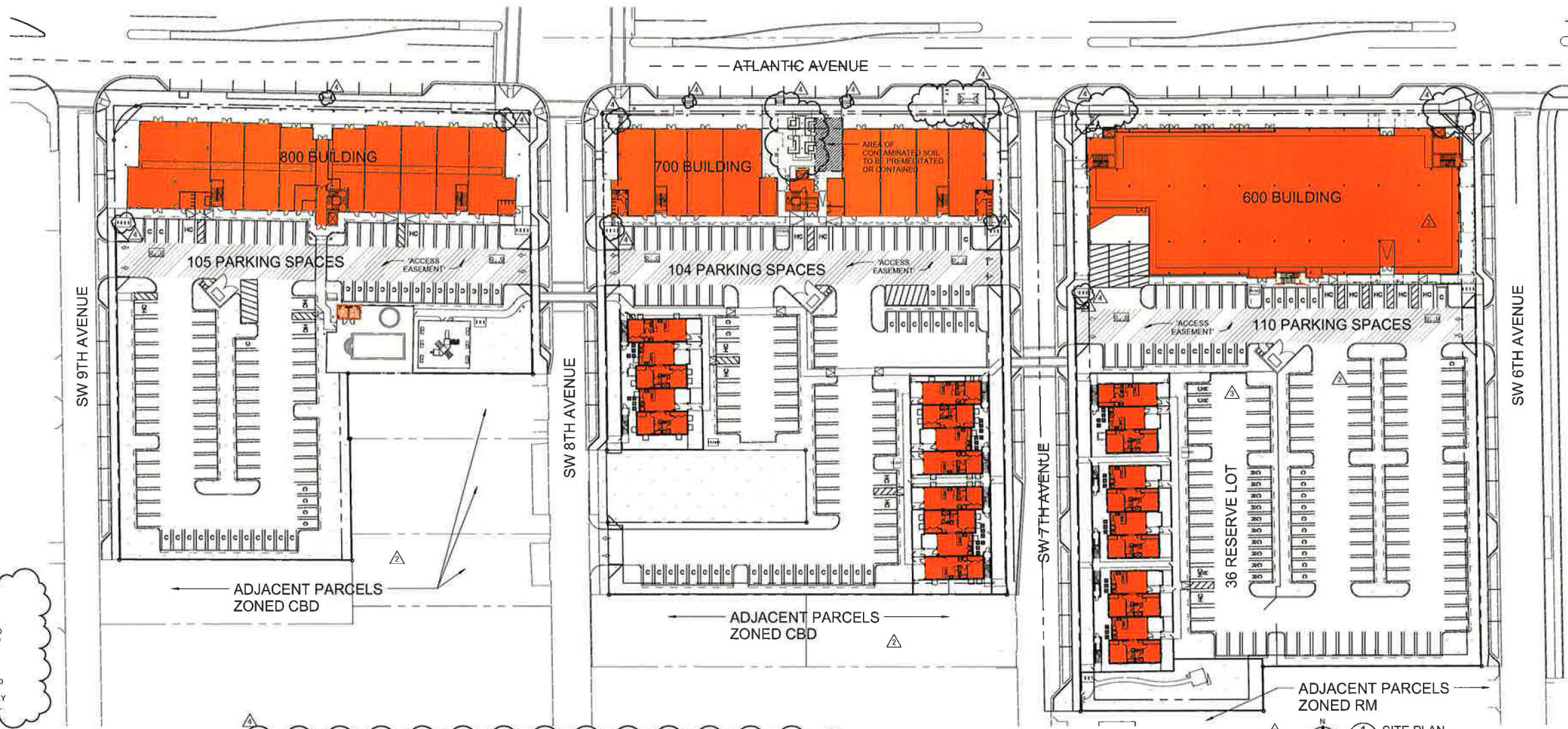
SPRAB 03-06-2015

DATE
10/6/2014

DATE
12/1/08

DRAWING NUMBER

A1.01



GENERAL SITE NOTES:

- PROJECT SHALL INCLUDE A MECHANICAL SURVEILLANCE SYSTEM
- SIGNAGE - "NO TRESPASSING" SHALL BE PROVIDED THROUGHOUT THE PROPERTY WITH EXCEPTION TO "ACCESS EASEMENT" AREAS
- ALL EXTERIOR SITE LIGHTING SHALL BE LED
- ACCESS POINTS TO ALL UPSTAIR AREAS OF THE 800 BUILDING OFFICES AS WELL AS 700 & 600 BUILDING RESIDENTIAL FLOORS SHALL HAVE ELECTRONIC KEY SYSTEM FOR AUTHORIZED USER ACCESS CONTROL

SITE DATA

ZONING CLASSIFICATION: CBD - CENTRAL BUSINESS DISTRICT
PLUM CLASSIFICATION: CC - CENTRAL CORE

SITE AREA INFORMATION

SITE AREA TOTAL	268,928 SQ FT	6.17 ACRES
GROUND FLOOR AREA	68,949 SQ FT	25.6 %
TOTAL FLOOR AREA	185,766 SQ FT	69.1 %
PARKING/PAVED AREA	152,421 SQ FT	56.7 %
OPEN (LANDSCAPED) AREA	47,558 SQ FT	17.7 %
WATER BODIES	0	0 %

WORKFORCE HOUSING NOTES

UNITS ALLOWED PER DENSITY: 74.5 UNITS
UNITS REQUESTED WITH COND. USE: 112 UNITS
WORKFORCE HOUSING UNITS: 22 UNITS (58.7% OF UNITS OVER DENSITY)
(20% OF TOTAL UNITS)

SETBACKS- CBD

	REQUIRED	PROVIDED
FRONT	0' 0" AT ARCADE, 5'-0" COMMERCIAL, 0' 0" RESIDENTIAL	0' COMMERCIAL, 10' TOWNHOUSES
REAR	0' 0"	10' 0" AT 800 BLDG, N/A AT OTHER BUILDINGS
SIDE (CORNER)	CAN EXTEND FRONT SETBACKS FOR "FIRST 60"	VARIABLE SEE PLAN
INTERIOR SIDE	0' 0", 10' 0" IF NO REAR ACCESS	10' 0" TYPICAL, 32' 8" AT TOWNHOUSE ON EAST SIDE OF 7TH AVE.
INTERIOR SIDE ADJACENT TO RESIDENTIAL ZONING	10'-0" WITH 6" 0" WALL TO RESIDENTIAL ZONING OR 4' 1/2" HEDGE PROVIDED	N/A TYP. 32' 8" AT TOWNHOUSE ON 7TH AVE EAST SIDE, 3' TALL CMU WALL WITH 2" TALL FENCE ABOVE AND 4' 1/2" TALL HEDGE PROVIDED
HEIGHT	43' 0"	45' 0" @ 600 BLDG, 36' 0" @ 700 BLDG, 46' 0" @ 800 BLDG, 33' 2" @ TOWNHOUSE
FLOORS		3 STORIES @ 600 AND 700 BLDGS, 4 STORIES @ 800 BLDG, 3 STORIES @ TOWNHOUSES

PARKING CALCULATIONS

	UNITS/SQ FT	PARKING RATIO	REQUIRED
RESIDENTIAL TOTAL	112		230
EFFICIENCY	18	1/UNIT = 15	
1 BEDROOM	15	1.5/UNIT = 27	
2 BEDROOM	75	2/UNIT = 150	
3 BEDROOM	4	2/UNIT = 8	
GUEST 1-20 UNITS	20	0.5 SPACE PER UNIT 1ST 20 UNITS = 10	
GUEST 21-50 UNITS	30	0.3 SPACES PER UNIT 21-50 UNITS = 9	
GUEST 51+ UNITS	62	0.2 SPACES PER UNIT 51+ UNITS = 12.4	
OFFICE	17,268 SF	1 PER 300 SF NET	57.56
RESTAURANTS	7,618 SF	6 PER 1000 SF GROSS	45.71
COMMERCIAL/RETAIL	40,264 SF	1 PER 300 SF GROSS	134.21
TOTAL REQUIRED PARKING			467.48

SHARED PARKING CALCULATIONS

	Reg'd	2-5pm	Week Days	Weekends
Residential	117.9	100%	60%	90%
Office	57.56	5%	100%	10%
Comm/Retail	134.2	5%	70%	100%
Rest	6.06	80%	80%	80%
Entertainment	6.06	10%	50%	100%
Other	11.2	100%	100%	100%
Total Required	245	358	391	369

PARKING PROVIDED

TOTAL ON-SITE SPACES	355	TOTAL PARALLEL SPACES OFF-SITE	70
REGULAR SPACES	232	EXISTING PARALLEL SPACES	20
COMPACT SPACES	105 (29.6%)	NEW PARALLEL SPACES	50
HANDICAPPED SPACES	18	IN-LIEU PARKING REQ.	35 (38 approved)

BUILDING CODE ANALYSIS

	800 BUILDING	700 BUILDING	600 BUILDING	TOWNHOUSE
BUILDING OCCUPANCY	MIXED USE NONSEPARATED OCCUPANCIES: M - MERCANTILE MOST RESTRICTIVE	MIXED USE NONSEPARATED OCCUPANCIES: M - MERCANTILE MOST RESTRICTIVE	MIXED USE NONSEPARATED OCCUPANCIES: M - MERCANTILE MOST RESTRICTIVE	R-2 - RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE III - B SPRINKLERED	TYPE III - B SPRINKLERED	TYPE II - A SPRINKLERED	TYPE III - B SPRINKLERED
BUILDING HEIGHT	CODE MAX 60' WITH SPRINKLER MODIFICATION PROPOSED 45'-0"	CODE MAX 60' WITH SPRINKLER MODIFICATION PROPOSED 35'-0"	CODE MAX 60' WITH SPRINKLER MODIFICATION PROPOSED 44'-6"	CODE MAX 40'-0" PROPOSED 32'-2"
BUILDING AREA	CODE MAX FIX 800 CODE AREA Aa = At + [At x H] + [At x H] If = (F/P - 0.25)W/30 Is = 2 (SPINKLERED) If = [1-0.25]x1 = 0.75 Aa = 12500 + [12500 x 0.75] + [12500 x 2] = 48875 MAX ALLOWABLE AREA 48,875 SF	CODE MAX PROPOSED Aa = At + [At x H] + [At x H] If = (F/P - 0.25)W/30 Is = 2 (SPINKLERED) If = [1-0.25]x1 = 0.75 Aa = 12500 + [12500 x 0.75] + [12500 x 2] = 48875 MAX ALLOWABLE AREA 48,875 SF	CODE MAX PROPOSED Aa = At + [At x H] + [At x H] If = (F/P - 0.25)W/30 Is = 2 (SPINKLERED) If = [1-0.25]x1 = 0.75 Aa = 21500 + [21500 x 0.75] + [21500 x 2] = 80625 MAX ALLOWABLE AREA 80,625 SF	CODE MAX PROPOSED Aa = At + [At x H] + [At x H] If = (F/P - 0.25)W/30 Is = 0 (NON-SPINKLERED) If = [1-0.25]x1 = 0.75 Aa = 16000 + [16000 x 0.75] + [16000 x 0] = 24000 MAX ALLOWABLE AREA 28,000 SF
NUMBER OF STORIES	3 - WITH SPRINKLER MODIFICATION	2 - WITH MEZZANINE	3 - WITH SPRINKLER MODIFICATION	4

WORKFORCE HOUSING ANALYSIS

UNIT TYPE	NO. OF UNITS	MARKET RATE NO.	MARKET RATE %	WORKFORCE UNITS NO.	WORKFORCE UNITS %	LOW INCOME	MODERATE INCOME
EFFICIENCY	18	18	20.00	0	0	0	2
1 BEDROOM	15	15	14.44	3	13.64	4	16
2 BEDROOM	75	60	66.66	15	68.18	4	16
3 BEDROOM	4	0	0	4	18.18	2	2
TOTAL	112	90	100	22	100	7	15

LOCATION OF WORKFORCE HOUSING:
4 IN EACH OF 4 TOWNHOUSE BUILDINGS
18 SPLIT BETWEEN THE 700 AND 800 BUILDING SO THAT NO TWO ARE ADJACENT TO EACH OTHER AND NO MORE THAN 4 UNITS WILL BE ON ANY FLOOR

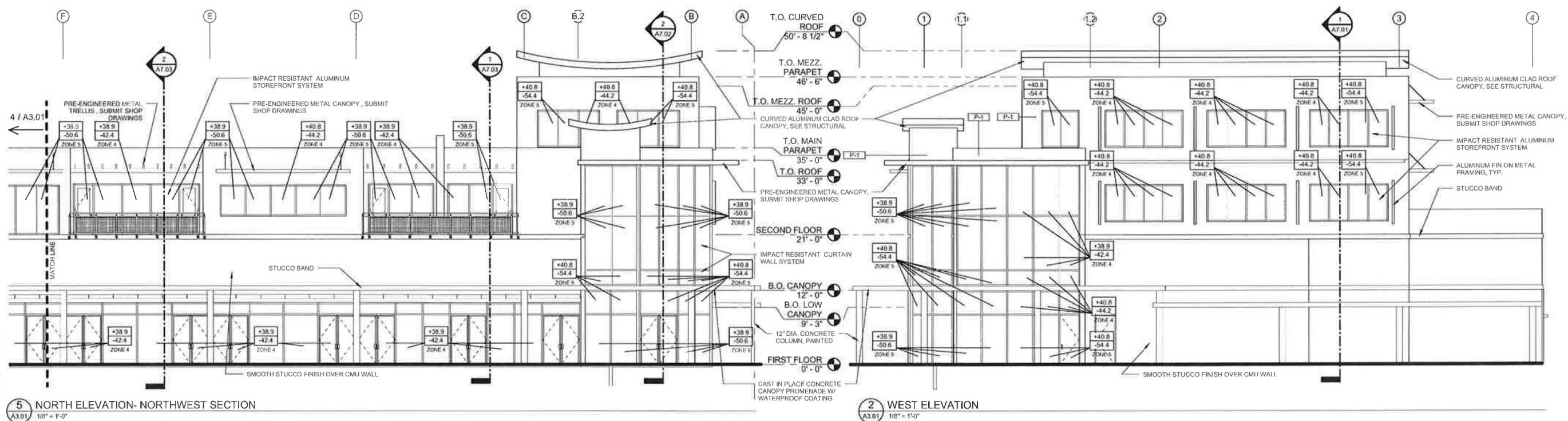
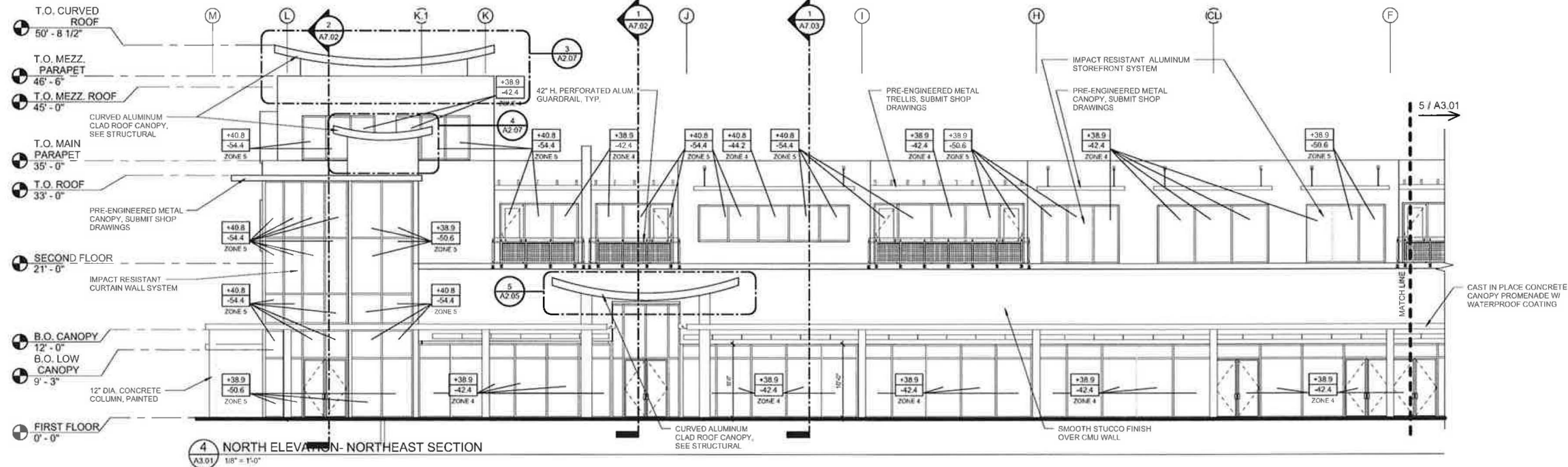
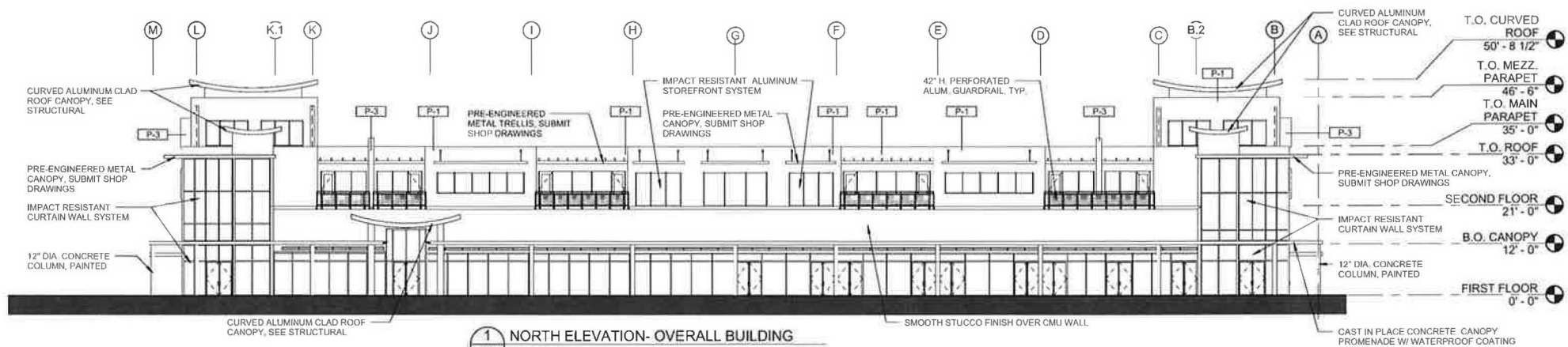
2 VACUITY MAP
A1.01 NOT TO SCALE

EXTERIOR FINISHES

WALLS:	
EXTERIOR WALLS:	3/4" STUCCO TEXTURE & PAINT
STOREFRONT:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
DOORS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
ROOFING:	
ROOF:	MODIFIED BITUMEN ON LIGHTWEIGHT INSULATING CONCRETE
FLASHING/COPING:	SLOPED STUCCO TOP
MISCELLANEOUS:	
EXTERIOR LIGHTS:	WALL MOUNTED CANOPY LIGHTING
TRELLIS:	E.S.P. FINISH ALUMINUM
GUARDRAIL/HANDRAIL:	PERFORATED ALUMINUM
PAVERS:	CONCRETE PAVERS (UNDER SEPARATE PERMIT)

EXTERIOR PAINT LEGEND

ITEM	EXTERIOR PAINT COLOR
P-1	WHITE
P-2	GREEN
P-3	ORANGE
P-4	CHARCOAL



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ISSUED FOR:

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CONSTRUCTION

SCALE

PROJECT TITLE

**UPTOWN
ATLANTIC - 600
BLOCK**

W. ATLANTIC AVE., DELRAY
BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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FILE: A3.01

DRAWING TITLE

ELEVATIONS

DATE: 02/17/2015

DRAWN BY: Author

JOB NUMBER

121108

DRAWING NUMBER

A3.01

PERMIT SET 04-29-2016

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PROJECT TITLE

**UPTOWN
ATLANTIC - 600
BLOCK**

W. ATLANTIC AVE., DELRAY
BEACH, FL

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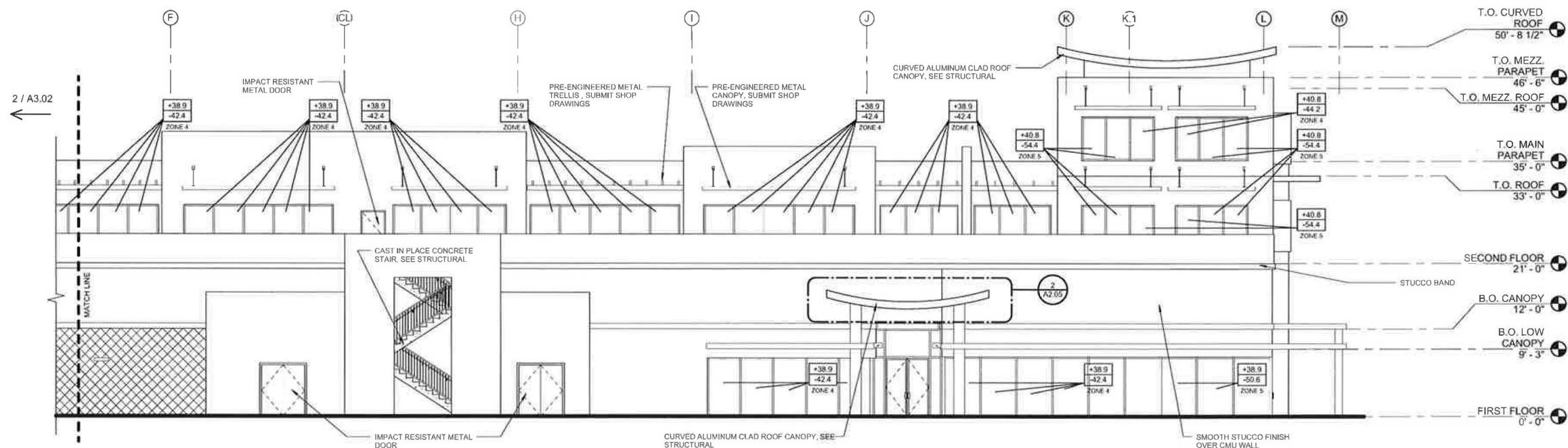
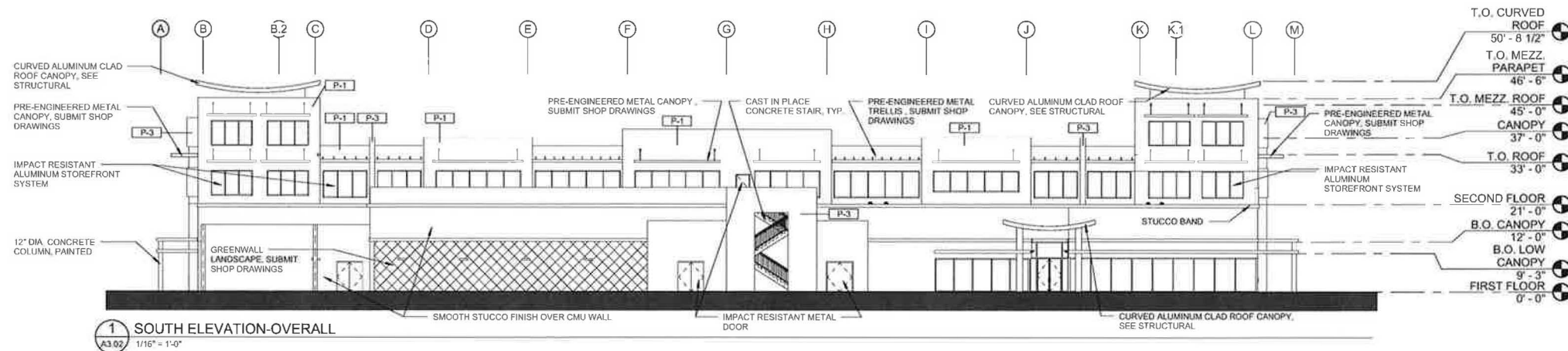
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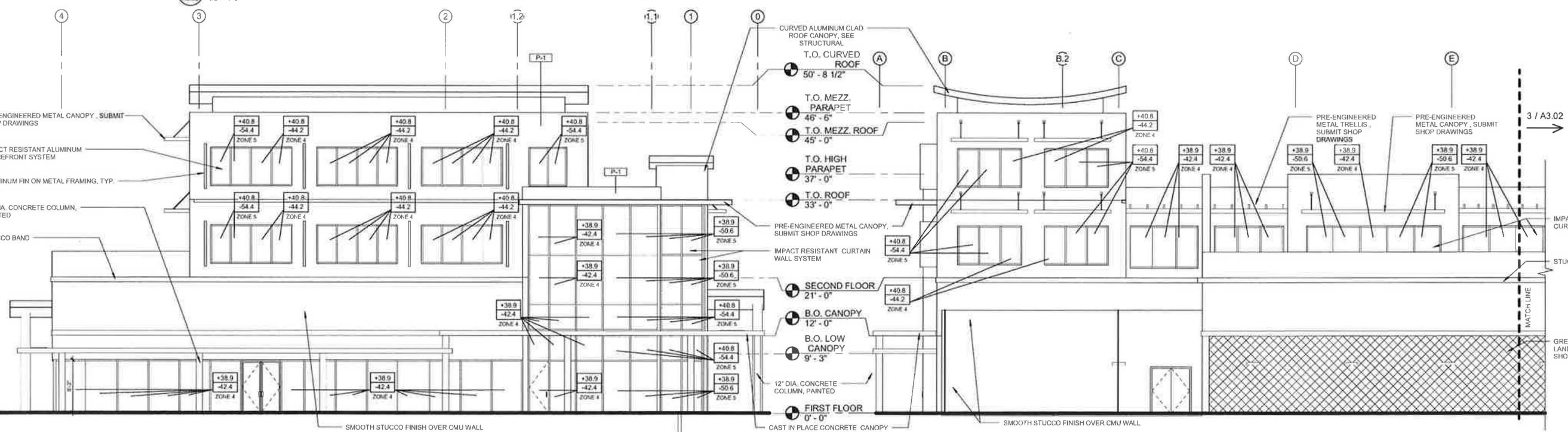
121108

DRAWING NUMBER

A3.02



3 SOUTH ELEVATION- SOUTHEAST SECTION
A3.02 1/8" = 1'-0"

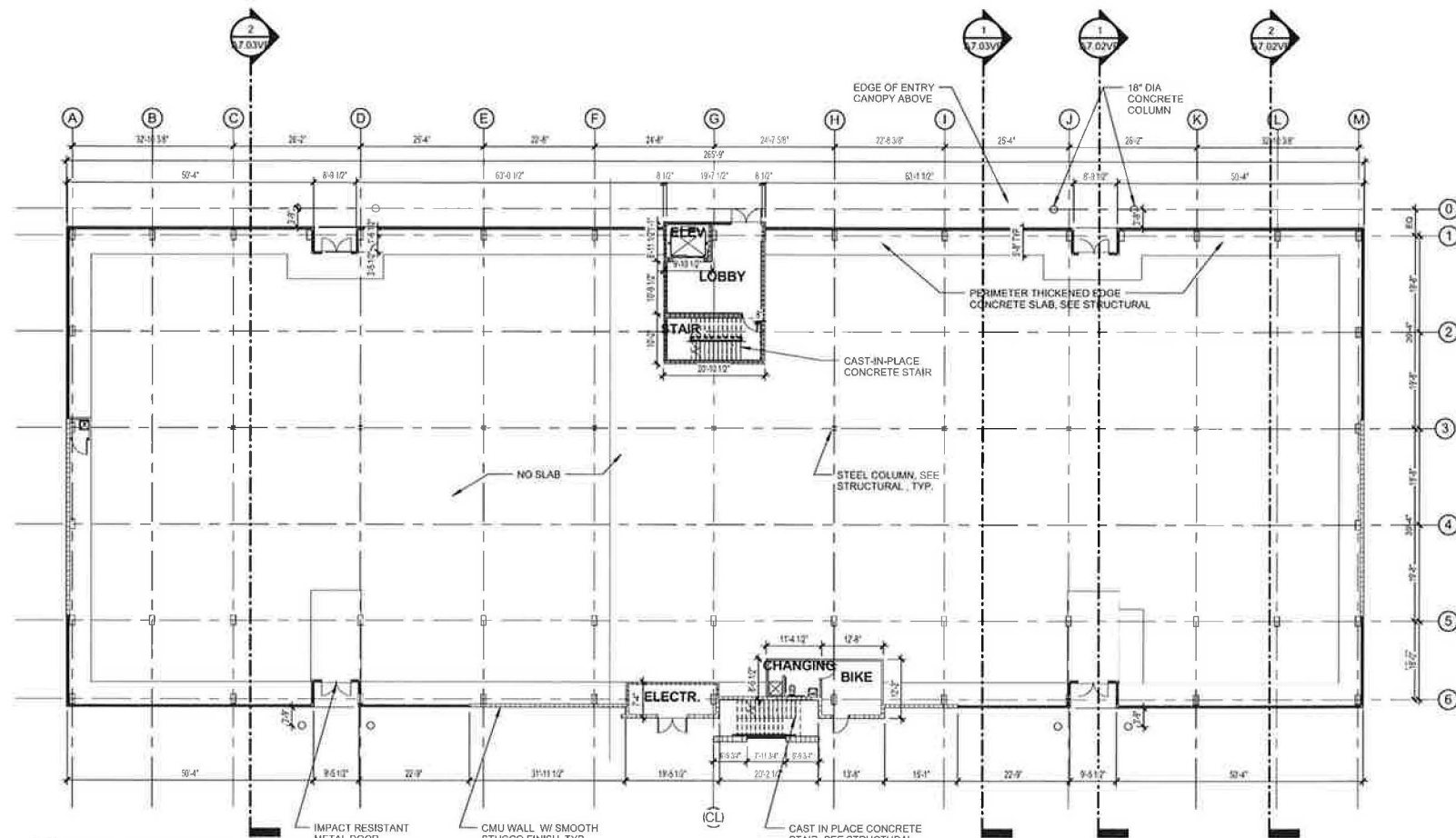


4 EAST ELEVATION
A3.02 1/8" = 1'-0"

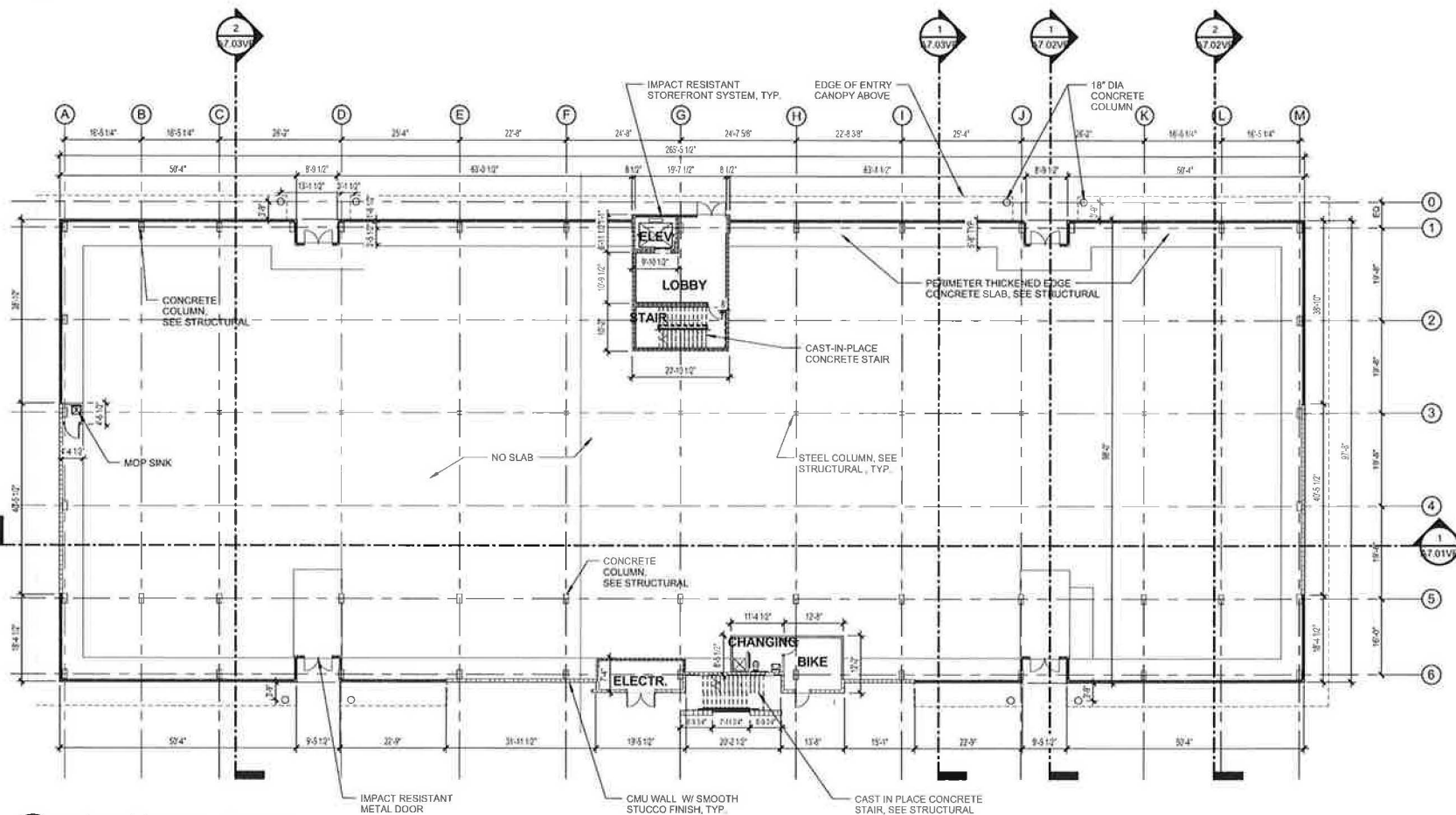
2 SOUTH ELEVATION- SOUTHWEST SECTION
A3.02 1/8" = 1'-0"

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8/24/2016 6:01:39 PM



2 FIRST FLOOR PLAN - ABOVE STOREFRONT
A2.01VE 1/16" = 1'-0"



1 FIRST FLOOR PLAN - OVERALL
A2.01VE 1/16" = 1'-0"



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PROJECT TITLE

**UPTOWN
ATLANTIC - 600
BLOCK**

W. ATLANTIC AVE., DELRAY
BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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FULL FLOOR

DRAWING TITLE

**FIRST FLOOR
PLANS**

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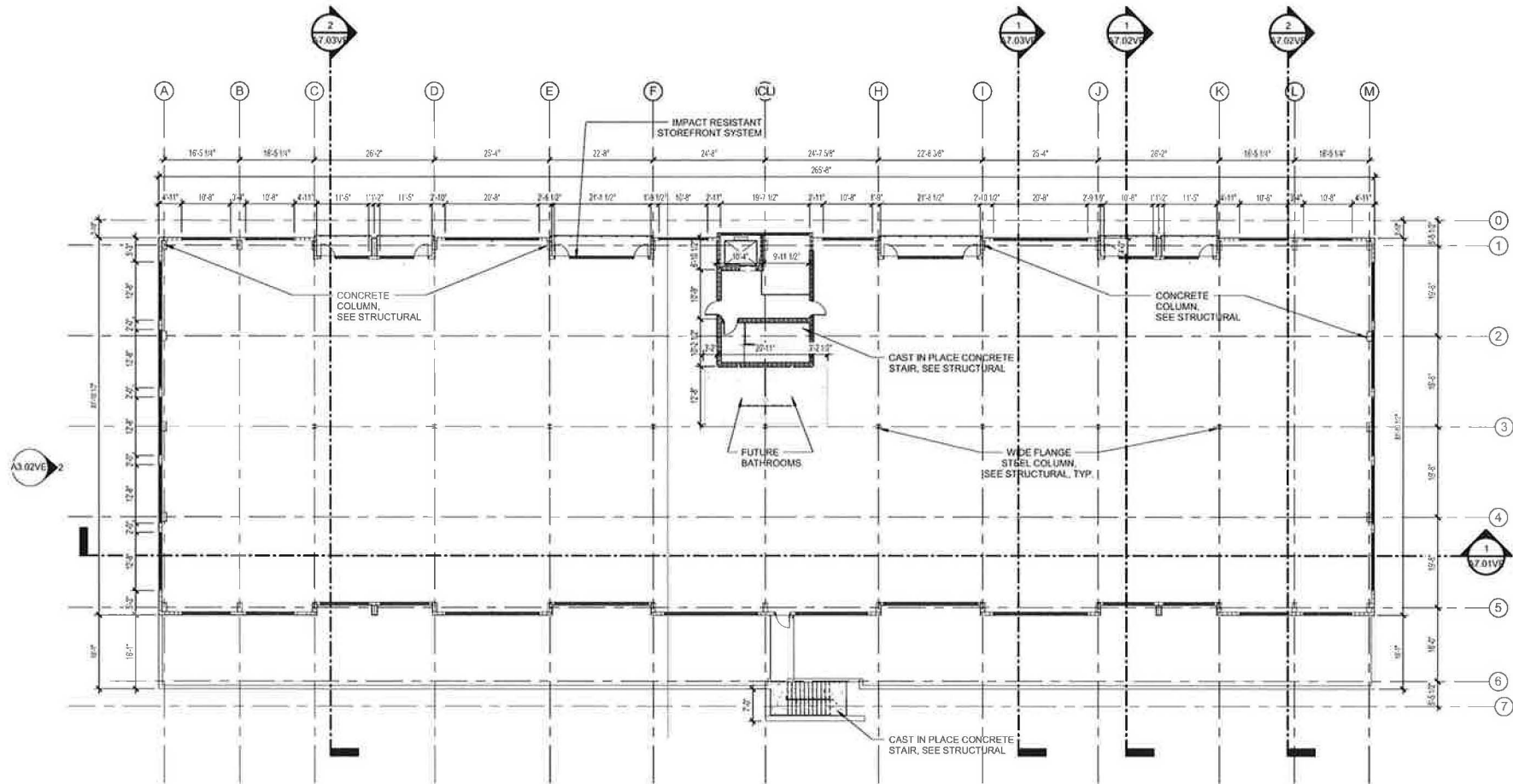
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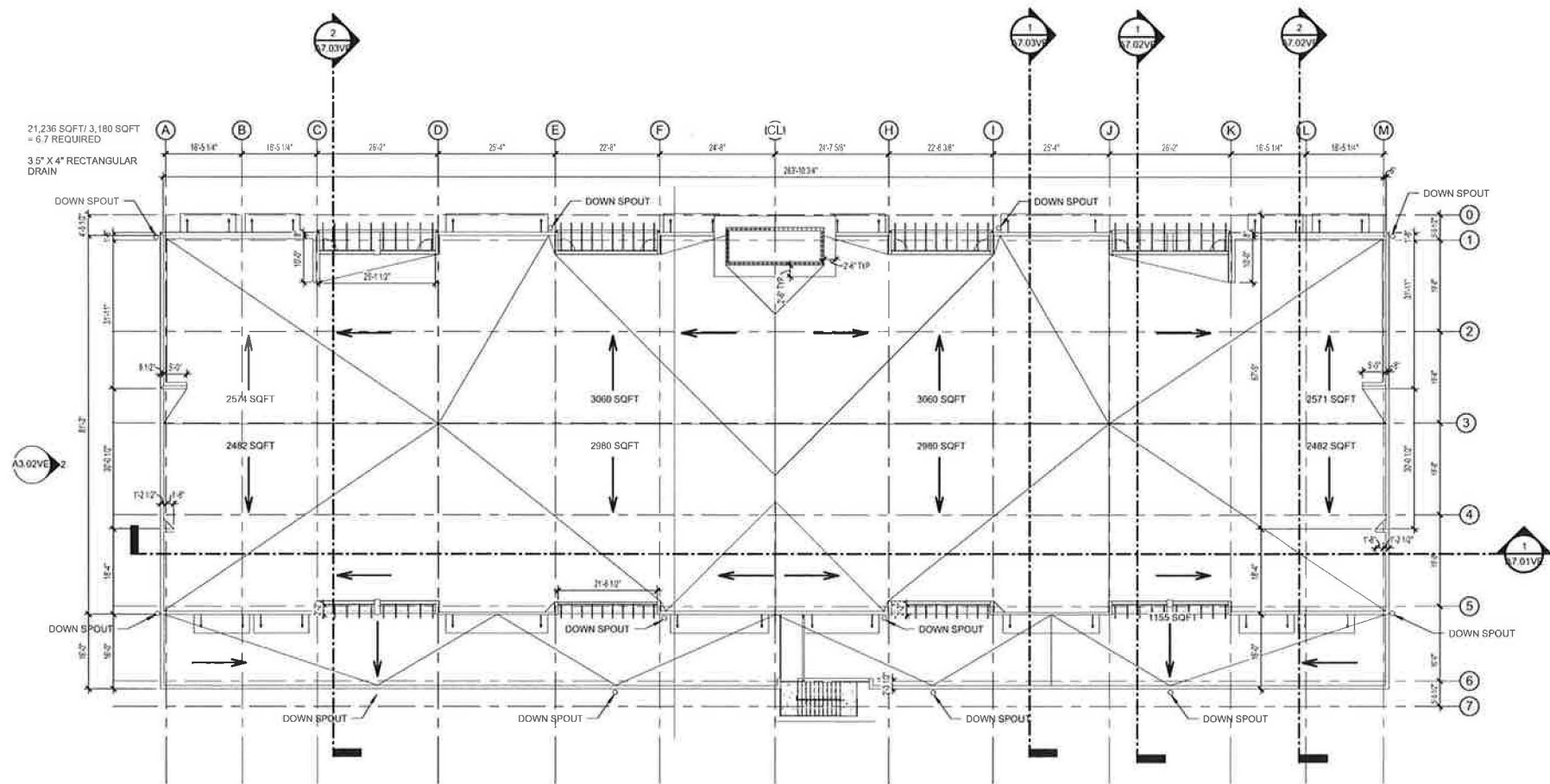
A2.01VE

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1 SECOND FLOOR PLAN - OVERALL
A2.02VE 1/16" = 1'-0"



2 ROOF PLAN - OVERALL
A2.02VE 1/16" = 1'-0"



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PROJECT TITLE

**UPTOWN
ATLANTIC - 600
BLOCK**

W. ATLANTIC AVE., DELRAY
BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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FULL LEVELS

DRAWING TITLE

**SECOND FLOOR
AND ROOF
OVERALL PLANS**

DATE 02/17/2015 DRAWN BY IRG

JOB NUMBER 121108

DRAWING NUMBER

A2.02VE



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UPTOWN ATLANTIC - 700 BLOCK

W. ATLANTIC BLVD. , DELRAY BEACH, FL



CURRIE SOWARDS AGUILA ARCHITECTS 2015

Revision Schedule		
Number	Date	Description

NOTE: THE SITE PLAN, THE CIVIL DRAWINGS, AND THE LANDSCAPE DRAWINGS ARE UNDER A SEPARATE PERMIT AND ARE FOR REFERENCE USE ONLY.

ARCHITECT

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McCARTHY AND ASSOCIATES

601 North Congress Avenue
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Delray Beach, Florida 33445
TEL: 561 265-6864
FAX: 561 265-6866

M.E.P. ENGINEER:

THOMPSON AND YOUNGROSS ENGINEERING

CONSULTANTS
902 CLINT MOORE ROAD, SUITE #142
BOCA RATON, FLORIDA 33487
TEL: 561 274-0200
FAX: 561 274-0222

CIVIL ENGINEER:

ENVIRODESIGN ASSOCIATES, INC.

298 PINEAPPLE GROVE WAY
DELRAY BEACH, FL. 33444
PH: 561-274-6500
FAX: 561-274-8558

LANDSCAPE ARCHITECT:

COVELLI DESIGN ASSOCIATES

2295 NW CORPORATE BLVD. - SUITE 213,
BOCA RATON, FL. 33431
PH: 561- 910-0330

SHEET

SHEET NAME

LS1.00	GENERAL NOTES A.D.A.G. SPECS.,
LS1.01	LIFE SAFETY PLANS
LS1.02	UL LISTINGS
LS1.03	UL LISTINGS
A1.01	ENLARGED SITE PLAN - 700 BLOCK
A2.01	FIRST FLOOR OVERALL FLOOR PLANS
A2.02	SECOND AND THIRD OVERALL FLOOR PLANS
A2.03	OVERALL ROOF PLANS
A2.04	FIRST FLOOR PLAN - EAST
A2.05	FIRST FLOOR PLAN - WEST
A2.06	SECOND FLOOR PLAN - EAST
A2.07	SECOND FLOOR PLAN - WEST
A2.08	THIRD FLOOR PLAN - EAST
A2.09	THIRD FLOOR PLAN - WEST
A2.10	ROOF PLAN - EAST
A2.11	ROOF PLAN - WEST
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A4.01	ENLARGED UNIT PLANS
A4.02	ENLARGED UNIT PLANS
A4.03	ENLARGED UNIT PLANS OPPOSITE HAND REFERENCE
A4.04	ENLARGED BATHROOM PLANS
A4.05	ENLARGED KITCHEN AND BATHROOM PLANS
A4.06	ENLARGED CIRCULATION PLANS
A4.07	ENLARGED CIRCULATION PLANS @ MAIN STAIR
A6.01	FIRST FLOOR REFLECTED CEILING PLAN
A6.02	SECOND FLOOR REFLECTED CEILING PLAN
A6.03	THIRD FLOOR REFLECTED CEILING PLAN
A6.04	ENLARGED UNIT REFLECTED CEILING PLANS
A6.05	ENLARGED UNIT REFLECTED CEILING PLANS
A7.01	BUILDING SECTIONS
A7.02	BUILDING CROSS SECTIONS
A7.03	WALL SECTIONS
A7.04	WALL SECTIONS
A7.05	WALL SECTIONS
A8.01	WALL TYPES- MASONRY
A8.02	WALL TYPES- FRAME
A8.03	ROOF DETAILS
A8.04	ROOF DETAILS
A8.05	DETAILS

A9.01	DOOR SCHEDULE- FIRST FLOOR AND SECOND FLOOR, DOOR DETAILS
A9.02	DOOR SCHEDULE- THIRD FLOOR PLANS AND UNIT PLANS, DOOR DETAILS
A9.03	WINDOW & STOREFRONT SCHEDULE - LEGEND
A9.04	STOREFRONT SCHEDULE
A9.05	STOREFRONT DOOR AND WINDOW DETAILS
A9.06	STOREFRONT DOOR AND WINDOW DETAILS
STRUCTURAL	
S0.01	STRUCTURAL SPECIFICATIONS
S0.02	STRUCTURAL SPECIFICATIONS
S0.03	STRUCTURAL SPECIFICATIONS & WIND LOAD SCHEDULE
S0.04	STRUCTURAL SPECIFICATIONS & WIND LOAD SCHEDULE
S1.01A	PARTIAL FOUNDATION PLAN
S1.01B	PARTIAL FOUNDATION PLAN
S1.02A PT	PARTIAL 2ND FLOOR POST TENSION FRAMING PLAN
S1.02A R	PARTIAL 2ND FLOOR POST TENSION FRAMING PLAN
S1.02B PT	PARTIAL 2ND FLOOR POST TENSION FRAMING PLAN
S1.02B R	PARTIAL 2ND FLOOR POST TENSION FRAMING PLAN
S1.03A PT	PARTIAL 3RD FLOOR POST TENSION FRAMING PLAN
S1.03A R	PARTIAL 3RD FLOOR POST TENSION FRAMING PLAN
S1.03B PT	PARTIAL 3RD FLOOR POST TENSION FRAMING PLAN
S1.03B R	PARTIAL 3RD FLOOR POST TENSION FRAMING PLAN
S1.04A PT	PARTIAL ROOF POST TENSION FRAMING PLAN
S1.04A R	PARTIAL ROOF POST TENSION FRAMING PLAN
S1.04B PT	PARTIAL ROOF POST TENSION FRAMING PLAN
S1.04B R	PARTIAL ROOF POST TENSION FRAMING PLAN
S2.01	FOUNDATION DETAILS
S2.02	MASONRY DETAILS
S3.01	POST TENSION DETAILS
S3.02	POST TENSION DETAILS
S4.01	WALL SECTIONS
S4.02	WALL SECTIONS
S4.03	PARTIAL BUILDING SECTION
MECHANICAL	
M-0.1	MECHANICAL NOTES, LEGEND AND SCHEDULES
M-0.2	MECHANICAL SCHEDULES AND CALCULATIONS
M-1.01	FIRST FLOOR PLAN - WEST MECHANICAL
M-1.02	FIRST FLOOR PLAN - EAST MECHANICAL
M-1.03	SECOND FLOOR PLAN - WEST MECHANICAL
M-1.04	SECOND FLOOR PLAN - EAST MECHANICAL
M-1.05	THIRD FLOOR PLAN - WEST MECHANICAL
M-1.06	THIRD FLOOR PLAN - EAST MECHANICAL
M-1.07	ROOF PLAN - WEST MECHANICAL
M-1.08	ROOF PLAN - EAST MECHANICAL
M-2.1	ENLARGED FLOOR PLANS - UNITS A, B, C & D
M-2.2	ENLARGED FLOOR PLANS - UNITS E, F, G, H & I
M-5.1	MECHANICAL DETAILS
M-5.2	MECHANICAL DETAILS

ELECTRICAL

E0.1	ELECTRICAL NOTES, LEGEND AND SCHEDULES
E1.01	FIRST FLOOR PLAN - WEST ELECTRICAL
E1.02	FIRST FLOOR PLAN - EAST ELECTRICAL
E1.03	SECOND FLOOR PLAN - WEST ELECTRICAL
E1.04	SECOND FLOOR PLAN - EAST - ELECTRICAL
E1.05	THIRD FLOOR PLAN - WEST - ELECTRICAL
E1.06	THIRD FLOOR PLAN - EAST - ELECTRICAL
E1.07	ROOF PLAN WEST - ELECTRICAL
E1.08	ROOF PLAN EAST - ELECTRICAL
E2.01	ENLARGED APARTMENT PLANS - ELECTRICAL
E2.02	ENLARGED APARTMENT PLANS - ELECTRICAL
E2.03	ELECTRICAL PANEL SCHEDULES - APARTMENTS
E3.1	ELECTRICAL RISER AND COMMUNICATION RISER
E4.1	ELECTRICAL SCHEDULES & ENLARGED ELECTRIC ROOM
E5.1	ELECTRICAL DETAILS

PLUMBING

P-0.1	PLUMBING NOTES, LEGEND AND SCHEDULES
P-1.01	FIRST FLOOR PLAN - WEST PLUMBING
P-1.02	FIRST FLOOR PLAN - EAST PLUMBING
P-1.03	SECOND FLOOR PLAN - WEST PLUMBING
P-1.04	SECOND FLOOR PLAN - EAST PLUMBING
P-1.05	THIRD FLOOR PLAN - WEST PLUMBING
P-1.06	THIRD FLOOR PLAN - EAST PLUMBING
P-1.07	ROOF PLAN - WEST PLUMBING
P-1.08	ROOF PLAN - EAST PLUMBING
P-2.1	ENLARGED FLOOR PLANS - UNITS A, B, C & D
P-2.2	ENLARGED FLOOR PLANS - UNITS E, F, G, H & I

FIRE PROTECTION

FP0.1	FIRE PROTECTION NOTES, DETAILS, SCHEDULES
FP1.01	FIRST FLOOR PLAN - WEST FIRE PROTECTION
FP1.02	FIRST FLOOR PLAN - EAST FIRE PROTECTION
FP1.03	SECOND FLOOR PLAN - WEST FIRE PROTECTION
FP1.04	SECOND FLOOR PLAN - EAST FIRE PROTECTION
FP1.05	THIRD FLOOR PLAN - WEST FIRE PROTECTION
FP1.06	THIRD FLOOR PLAN - EAST FIRE PROTECTION
FP2.1	ENLARGED FLOOR PLANS - UNITS A, B, C & D
FP2.2	ENLARGED FLOOR PLANS - UNITS E, F, G, H & I

FIRE ALARM

FA0.1	FIRE ALARM NOTES, LEGEND & SCHEDULES
FA1.01	FIRST FLOOR PLAN - FIRE ALARM
FA1.02	SECOND FLOOR PLAN - FIRE ALARM
FA1.03	THIRD FLOOR PLAN - FIRE ALARM
FA1.04	ROOF PLAN - FIRE ALARM
FA2.1	FIRE ALARM RISER DIAGRAM

SURVEY

1 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY
2 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY

CIVIL

3 OF 17	PAVING & DRAINAGE PLAN
6 OF 17	WATER & WASTEWATER PLAN
8 OF 17	PAVING & DRAINAGE DETAILS
9 OF 17	PAVING & DRAINAGE DETAILS
10 OF 17	PAVING & DRAINAGE DETAILS
11 OF 17	PAVING & DRAINAGE DETAILS
12 OF 17	PAVING & DRAINAGE DETAILS
13 OF 17	WATER & WASTEWATER DETAILS
14 OF 17	WATER & WASTEWATER DETAILS
15 OF 17	EASEMENT COORDINATION PLAN
16 OF 17	DEMOLITION PLAN
17 OF 17	POLLUTION PREVENTION PLAN

LANDSCAPE

LP-1	LANDSCAPE PLAN
LP-3	LANDSCAPE PLAN 700 BLOCK
LP-5	LANDSCAPE PLAN 700 BLOCK COURTYARD
LP-6	LANDSCAPE PLAN DETAILS & NOTES
TP-2	TREE PRESERVATION PLAN 700 BLOCK

UPTOWN ATLANTIC - 700 BLOCK

PERMIT SET 12/18/2015

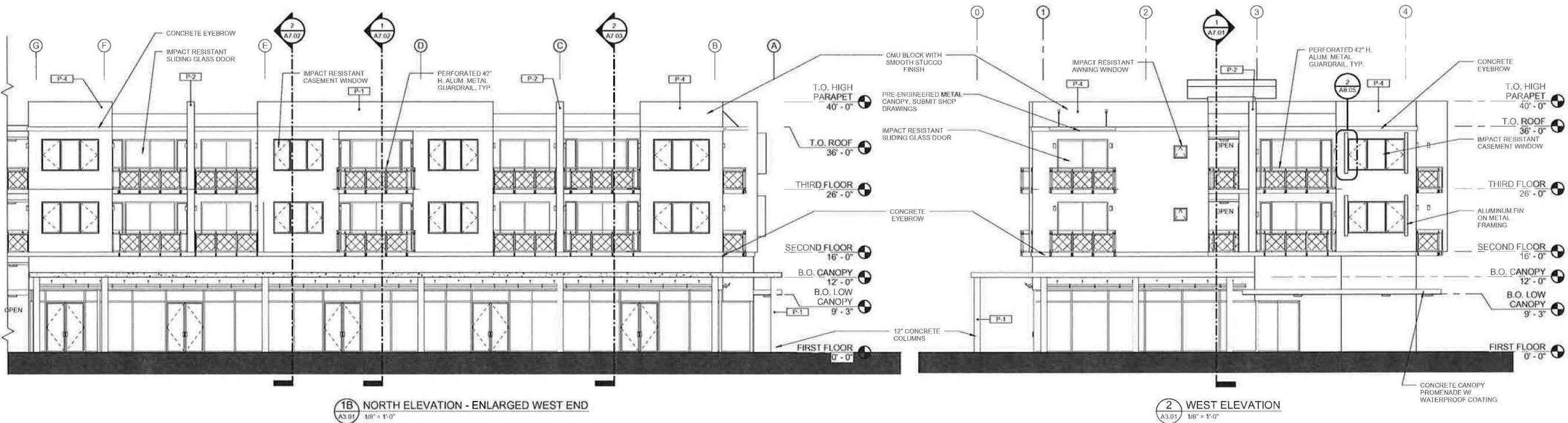
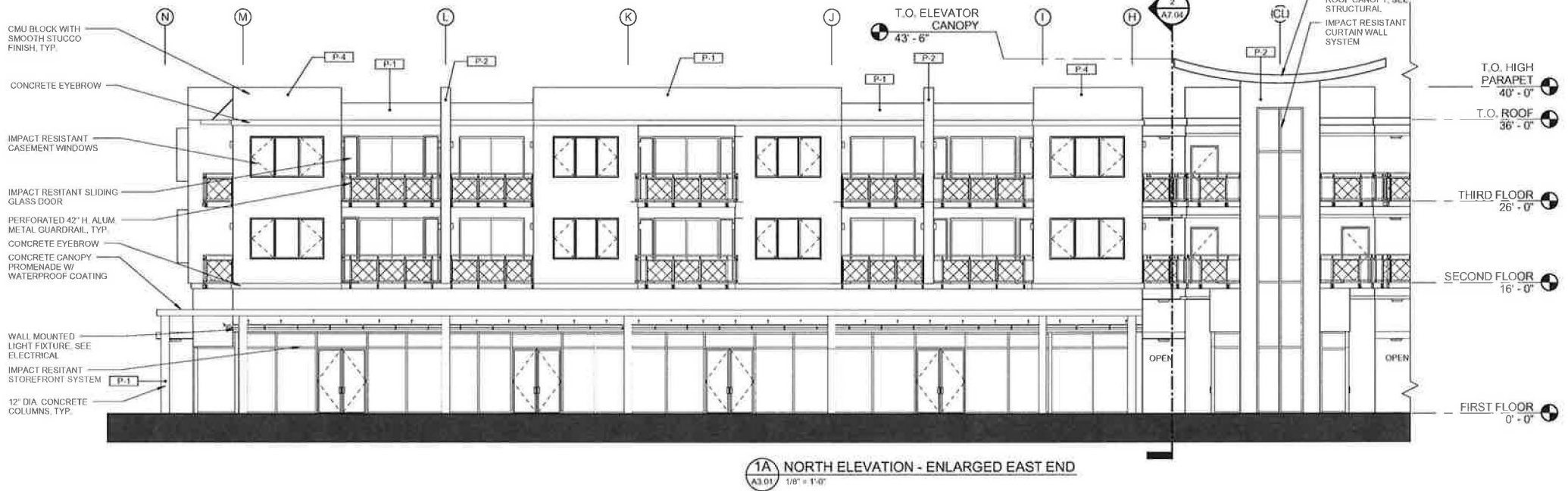
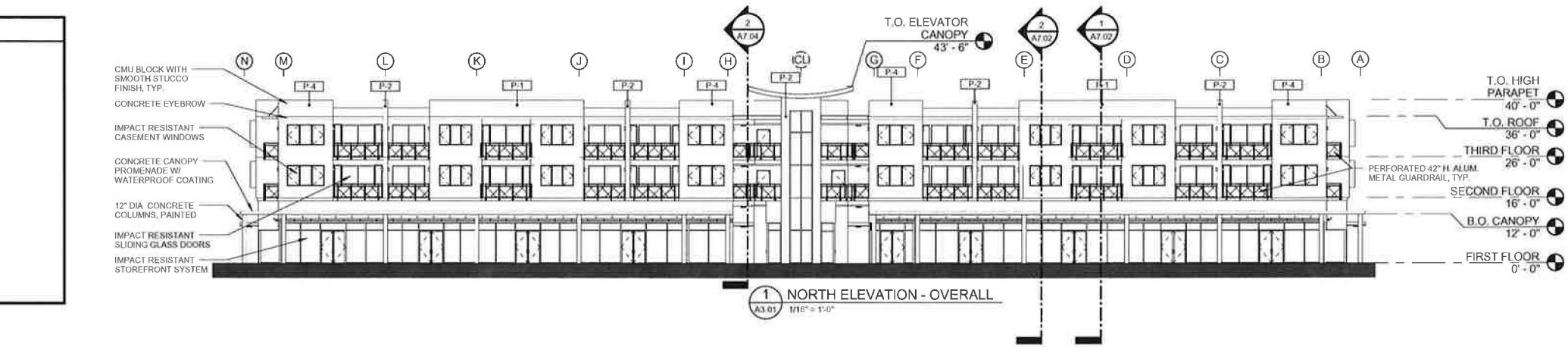
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EXTERIOR FINISHES

WALLS:	
EXTERIOR WALLS:	3/4" STUCCO (SMOOTH); PAINTED
STOREFRONT:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
DOOR:	
DOORS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
WINDOWS:	E.S.P. FINISH ALUMINUM CASEMENT
ROOFING:	
ROOF:	MODIFIED BITUMEN ON TAPERED INSULATION
FLASHING/COPING:	SLOPED STUCCO TOP
MISCELLANEOUS:	
EXTERIOR LIGHTS:	WALL MOUNTED CANOPY LIGHTING
GUARDRAIL RAIL/HANDGUARD RAIL:	ALUMINUM PERFORATED GUARD RAIL
PAVERS:	SEE SITE PLAN, UNDER SEPARATE SUBMITTAL

EXTERIOR PAINT LEGEND

ITEM	EXTERIOR PAINT COLOR
P-1	WHITE
P-2	RED
P-3	CHARCOAL
P-4	YELLOW



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ISSUED FOR :

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CONSTRUCTION

SCALE

PROJECT TITLE

**UPTOWN
ATLANTIC - 700
BLOCK**

W. ATLANTIC BLVD.,
DELRAY BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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FILL LEVELS

DRAWING TITLE

**EXTERIOR
ELEVATIONS**

DATE 12/14/2015 DRAWN BY Author

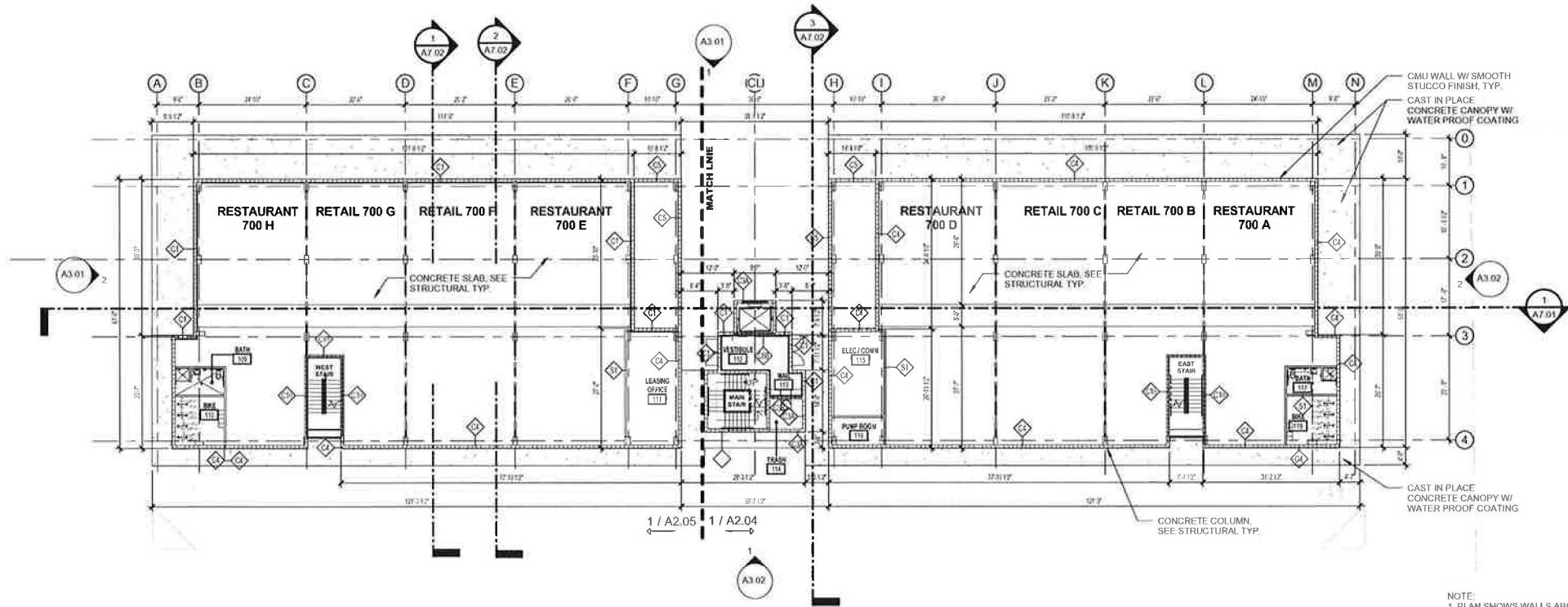
SUB NUMBER 121108

DRAWING NUMBER

A3.01

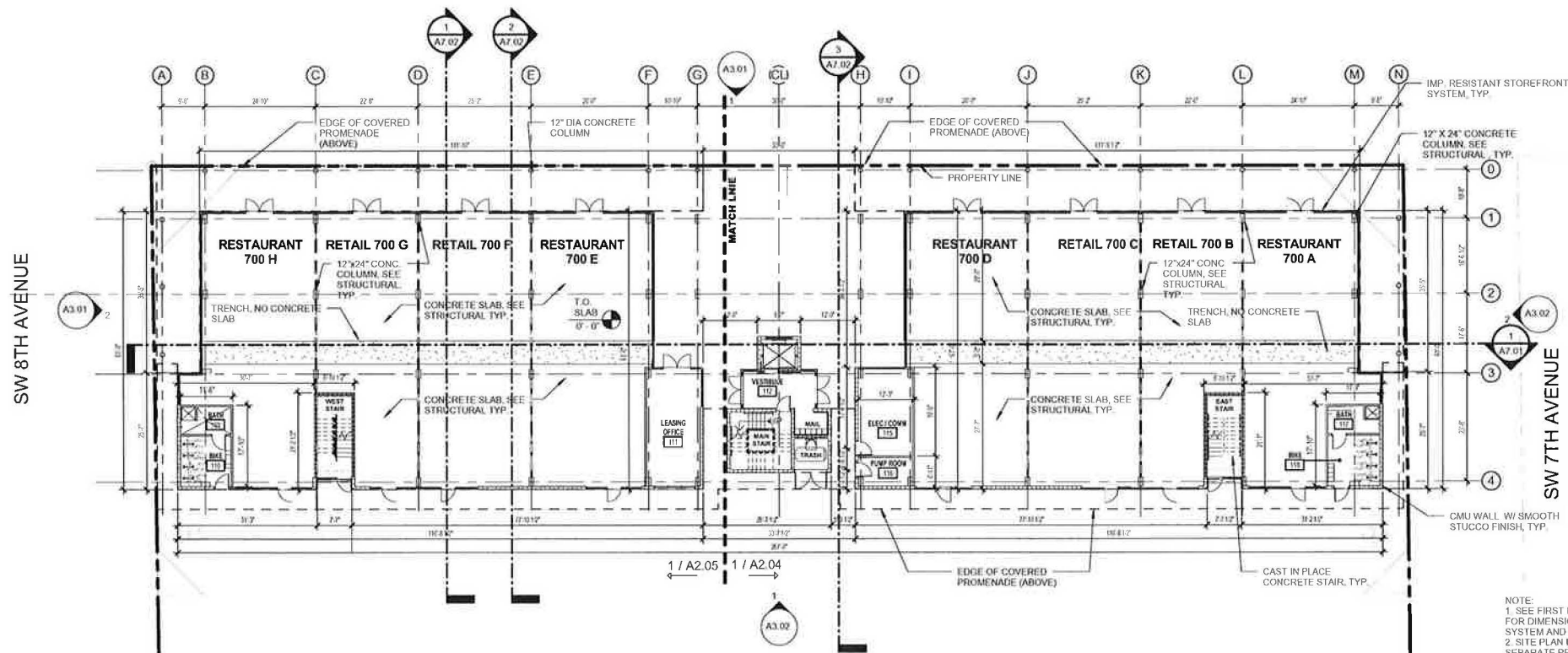
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NOTE:
1. PLAN SHOWS WALLS ABOVE STOREFRONT SYSTEM AND
CAST IN PLACE CANOPY
2. SITE PLAN IS SHOWN FOR REFERENCE ONLY, UNDER SEPARATE PERMIT

2 FIRST FLOOR PLAN - ABOVE STOREFRONT
A2.01 1/16" = 1'-0"



NOTE:
1. SEE FIRST FLOOR PLAN - ABOVE STOREFRONT, 2/A2.01,
FOR DIMENSIONAL LOCATION OF WALLS ABOVE STOREFRONT
SYSTEM AND CAST IN PLACE CANOPY
2. SITE PLAN IS SHOWN FOR REFERENCE ONLY, UNDER
SEPARATE PERMIT.

1 FIRST FLOOR PLAN - AT GRADE
A2.01 1/16" = 1'-0"



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CONSTRUCTION

SEAL

PROJECT TITLE

**UPTOWN
ATLANTIC-700
BUILDING**

W. ATLANTIC BLVD.,
DELRAY BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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OPERATIONAL BUILDING WHETHER
INDICATED ON THE PLANS OR NOT.

FILE ELEMENTS

DRAWING TITLE

**FIRST FLOOR
OVERALL FLOOR
PLANS**

DATE 12/14/2015 DRAWN BY IRC

JOB NUMBER 121108

DRAWING NUMBER

A2.01

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ISSUED FOR :

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CONSTRUCTION

FINAL

PROJECT TITLE

UPTOWN
ATLANTIC-700
BUILDING

W. ATLANTIC BLVD.,
DELRAY BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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OPERATIONAL BUILDING WHETHER
INDICATED ON THE PLANS OR NOT.

FILE NUMBER

DRAWING TITLE

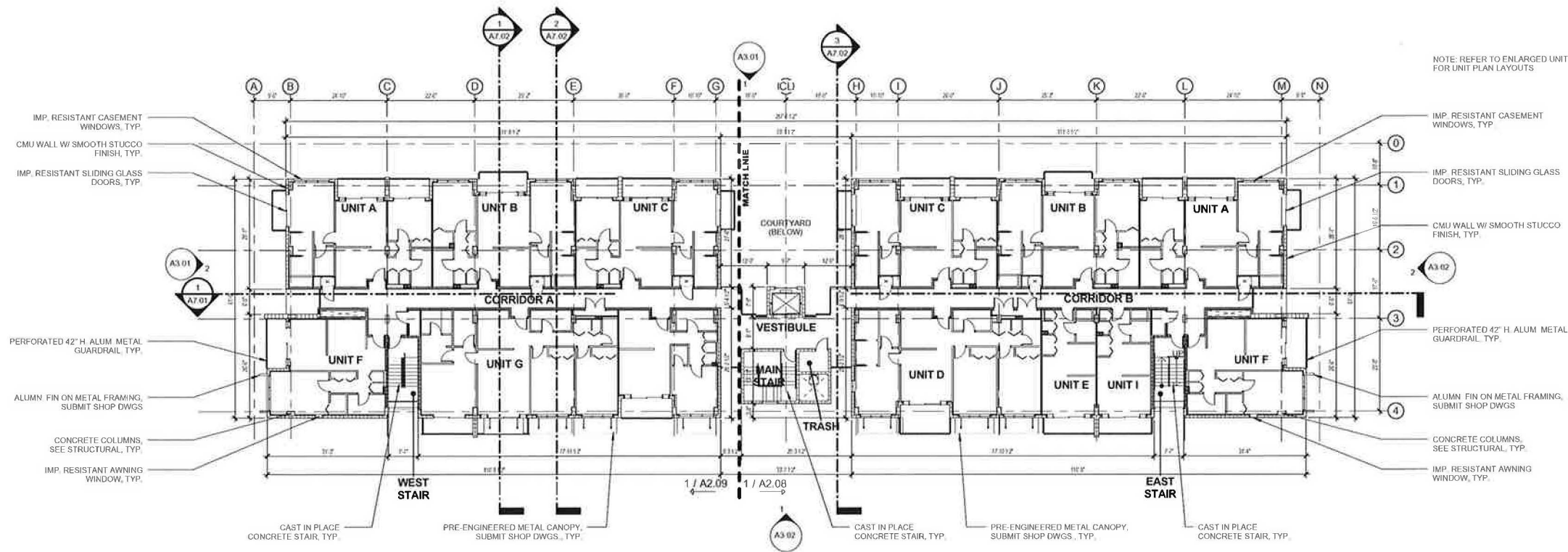
SECOND AND
THIRD OVERALL
FLOOR PLANS

DATE 12/14/2015 DRAWN BY Author

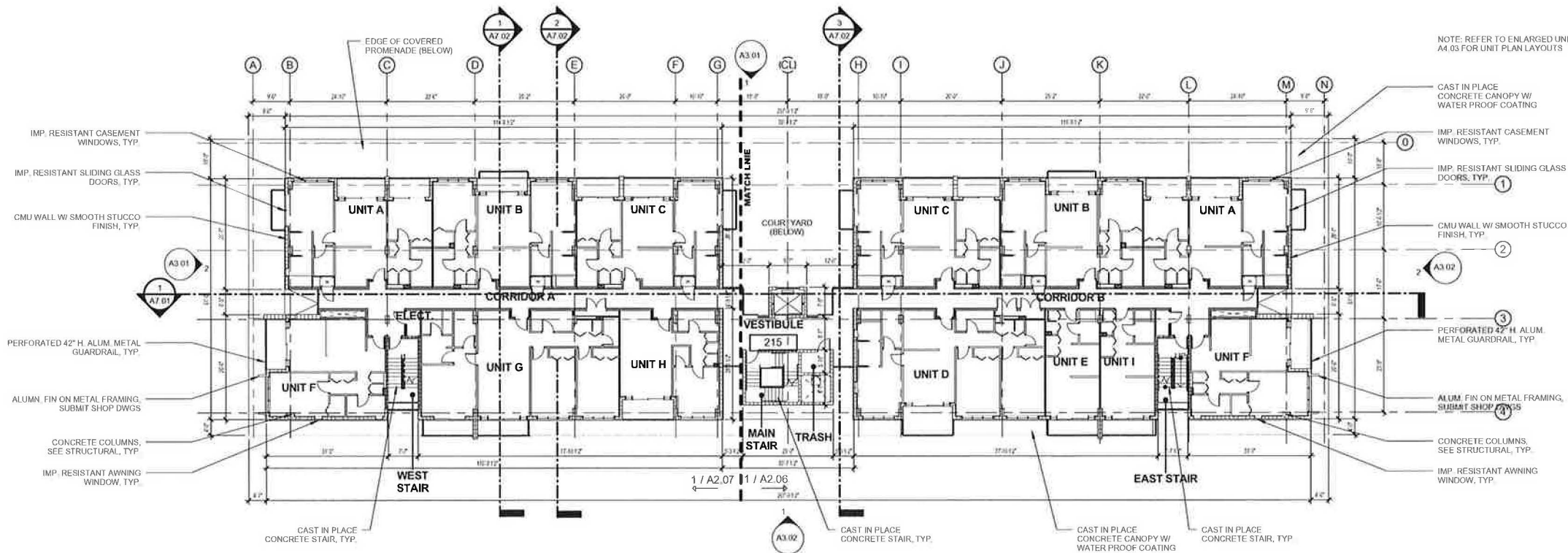
JOB NUMBER 121108

DRAWING NUMBER

A2.02



2 THIRD FLOOR PLAN- OVERALL
A2.02 1/16" = 1'-0"



1 SECOND FLOOR PLAN - OVERALL
A2.02 1/16" = 1'-0"



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ISSUED FOR :

BUC

PERMII 1/2"=1/8"=1/5"

CONSTRUCTION

SEAL

PROJECT TITLE

**UPTOWN
ATLANTIC-700
BUILDING**

W. ATLANTIC BLVD.,
DELRAY BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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FILE NUMBER

DRAWING TITLE

**OVERALL ROOF
PLANS**

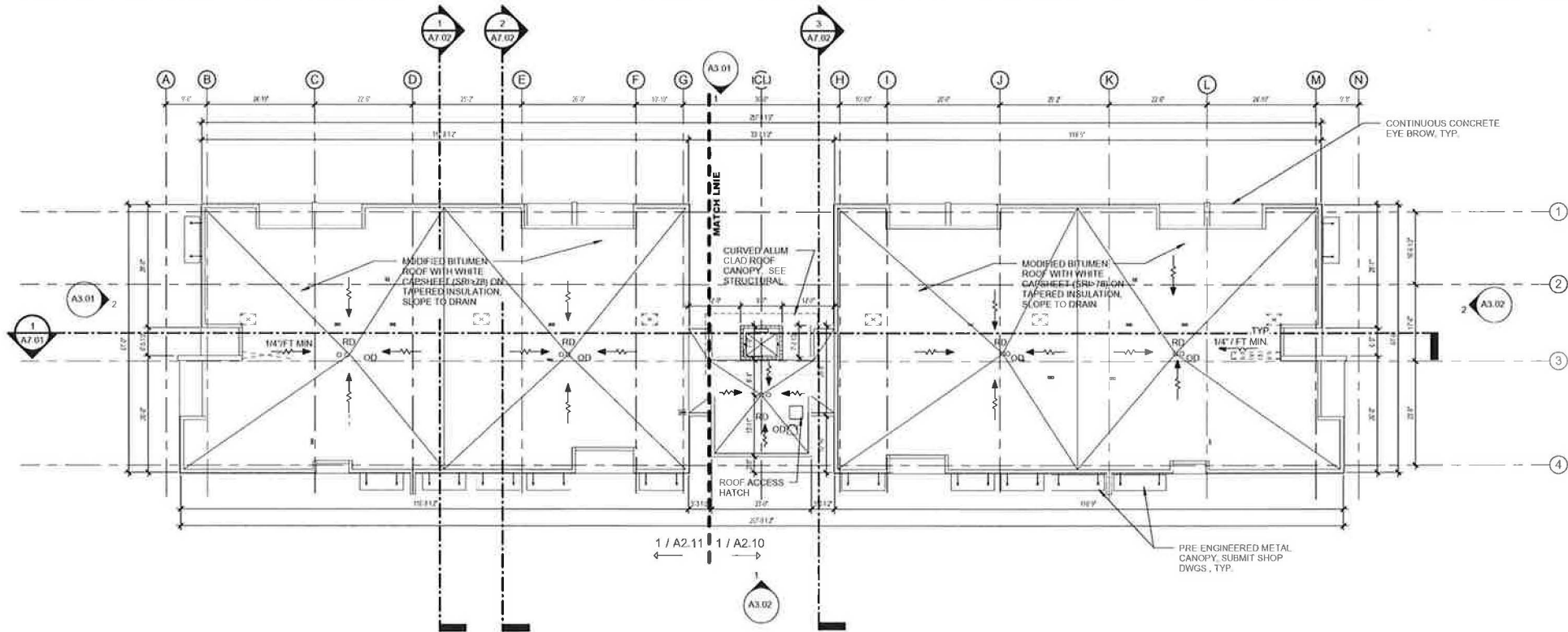
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DRAWING NUMBER

A2.03



1 ROOF PLAN
A2.03 1/16" = 1'-0"



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UPTOWN ATLANTIC - 800 BLOCK

W. ATLANTIC BLVD., DELRAY BEACH, FL



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BOCA RATON, FL 33431
TEL: 561-910-0330
FAX: 561-549-9000

SHEET # SHEET NAME

LS1.00 GENERAL NOTES A.D.A.A.G. SPECS.,
LS1.01 FIRST AND SECOND FLOOR LIFE SAFETY PLANS
LS1.02 THIRD AND FOURTH FLOOR LIFE SAFETY PLANS
LS1.03 UL LISTINGS
LS1.04 UL LISTINGS

A1.01 ENLARGED SITE PLAN - 800 BLOCK
A2.01 FIRST FLOOR OVERALL FLOOR PLANS
A2.02 SECOND & THIRD OVERALL FLOOR PLANS
A2.03 FOURTH & ROOF OVERALL FLOOR PLANS
A2.04 ENLARGED FIRST FLOOR PLAN- EAST
A2.05 ENLARGED FIRST FLOOR PLAN- WEST
A2.06 ENLARGED SECOND FLOOR PLAN- EAST
A2.07 ENLARGED SECOND FLOOR PLAN- WEST
A2.08 ENLARGED THIRD FLOOR PLAN- EAST
A2.09 ENLARGED THIRD FLOOR PLAN- WEST
A2.10 ENLARGED FOURTH FLOOR PLAN- EAST
A2.11 ENLARGED FOURTH FLOOR PLAN- WEST
A2.12 ENLARGED ROOF PLAN- EAST
A2.13 ENLARGED ROOF PLAN- WEST
A3.01 ELEVATIONS
A3.02 ELEVATIONS
A3.03 ELEVATIONS
A4.01 ENLARGED UNIT PLANS
A4.02 ENLARGED UNIT PLANS
A4.03 ENLARGED UNIT PLANS
A4.04 ENLARGED UNIT PLANS
A4.05 ENLARGED KITCHEN AND BATHROOM PLANS
A4.06 ENLARGED CIRCULATION PLAN
A4.07 ENLARGED CIRCULATION PLANS @ MAIN STAIR
A4.08 ENLARGED BATHROOM PLAN
A6.01 FIRST FLOOR REFLECTED CEILING PLAN
A6.02 SECOND FLOOR REFLECTED CEILING PLAN
A6.03 THIRD FLOOR REFLECTED CEILING PLAN
A6.04 FOURTH FLOOR REFLECTED CEILING PLAN
A6.05 NOT USED
A6.06 ENLARGED UNIT REFLECTED CEILING PLANS
A6.07 ENLARGED UNIT REFLECTED CEILING PLANS
A6.08 ENLARGED UNIT REFLECTED CEILING PLANS
A6.09 ENLARGED UNIT REFLECTED CEILING PLANS
A7.01 BUILDING SECTIONS
A7.02 BUILDING CROSS SECTIONS
A7.03 WALL SECTIONS
A7.04 WALL SECTIONS
A8.01 WALL TYPES-MASONRY
A8.02 WALL TYPES - FRAME

A8.03 ROOF DETAILS
A8.04 ROOF DETAILS
A8.05 DETAILS
A8.06 CASEMENT DETAILS
A9.01 DOOR SCHEDULE- FIRST FLOOR AND SECOND FLOOR, DOOR DETAILS
A9.02 DOOR SCHEDULE- THIRD FLOOR PLANS AND UNIT PLANS, DOOR DETAILS
A9.03 DOOR SCHEDULE
A9.04 WINDOW & STOREFRONT SCHEDULE
A9.05 STOREFRONT SCHEDULE
A9.06 STOREFRONT DOOR AND WINDOW DETAILS
A9.07 STOREFRONT DOOR AND WINDOW DETAILS

STRUCTURAL
S0.01 STRUCTURAL SPECIFICATIONS
S0.02 STRUCTURAL SPECIFICATIONS
S0.03 STRUCTURAL SPECIFICATIONS & WIND LOAD SCHEDULE
S0.04 SCHEDULE
S0.05 LIVE LOAD PLANS
S1.01A PARTIAL FOUNDATION PLAN
S1.01B PARTIAL FOUNDATION PLAN
S1.02A C PARTIAL 2ND FLOOR CANOPY FRAMING PLAN
S1.02A PT PARTIAL 2ND FLOOR POST TENSION FRAMING PLAN
S1.02A R PARTIAL 2ND FLOOR REINFORCING FRAMING PLAN
S1.02B C PARTIAL 2ND FLOOR CANOPY FRAMING PLAN
S1.02B PT PARTIAL 2ND FLOOR POST TENSION FRAMING PLAN
S1.02B R PARTIAL 2ND FLOOR REINFORCING FRAMING PLAN
S1.03A PT PARTIAL 3RD FLOOR POST TENSION FRAMING PLAN
S1.03A R PARTIAL 3RD FLOOR REINFORCING FRAMING PLAN
S1.03B PT PARTIAL 3RD FLOOR POST TENSION FRAMING PLAN
S1.03B R PARTIAL 3RD FLOOR REINFORCING FRAMING PLAN
S1.04A PT PARTIAL 4TH FLOOR POST TENSION FRAMING PLAN
S1.04A R PARTIAL 4TH FLOOR REINFORCING FRAMING PLAN
S1.04B PT PARTIAL 4TH FLOOR POST TENSION FRAMING PLAN
S1.04B R PARTIAL 4TH FLOOR REINFORCING FRAMING PLAN
S1.05A PT PARTIAL ROOF POST TENSION FRAMING PLAN
S1.05A R PARTIAL ROOF REINFORCING FRAMING PLAN
S1.05B PT PARTIAL ROOF POST TENSION FRAMING PLAN
S1.05B R PARTIAL ROOF REINFORCING FRAMING PLAN
S2.01 FOUNDATION DETAILS
S2.02 MASONRY DETAILS
S3.01 POST TENSION DETAILS
S3.02 POST TENSION AND FRAMING DETAILS
S3.03 FRAMING DETAILS
S3.04 FRAMING DETAILS
S4.01 WALL SECTIONS
S4.02 WALL SECTIONS
S4.03 STAIR SECTIONS
S4.04 STAIR SECTIONS

MECHANICAL
M0.1 MECHANICAL NOTES, LEGEND AND SCHEDULES
M0.2 MECHANICAL SCHEDULES AND CALCULATIONS

M1.01 FIRST FLOOR PLAN - WEST MECHANICAL
M1.02 FIRST FLOOR PLAN - EAST MECHANICAL
M1.03 SECOND FLOOR PLAN - WEST MECHANICAL
M1.04 SECOND FLOOR PLAN - EAST MECHANICAL
M1.05 THIRD FLOOR PLAN - WEST MECHANICAL
M1.06 THIRD FLOOR PLAN - EAST MECHANICAL
M1.07 FOURTH FLOOR PLAN - WEST MECHANICAL
M1.08 FOURTH FLOOR PLAN - EAST MECHANICAL
M1.09 ROOF PLAN - WEST MECHANICAL
M1.10 ROOF PLAN - EAST MECHANICAL
M2.1 ENLARGED FLOOR PLANS - UNITS A, B, C, D, E, T, U & V
M2.2 ENLARGED FLOOR PLANS - UNITS F, G, H, J, K, L, M, N & W
M2.3 ENLARGED FLOOR PLANS - UNITS P, Q, R & S
M3.1 MECHANICAL DETAILS
M3.2 MECHANICAL DETAILS
M3.3 MECHANICAL DETAILS
M3.4 MECHANICAL RISERS

ELECTRICAL
E0.1 ELECTRICAL NOTES, LEGEND AND SCHEDULES
E1.01 FIRST FLOOR PLAN - WEST ELECTRICAL
E1.02 FIRST FLOOR PLAN - EAST ELECTRICAL
E1.03 SECOND FLOOR PLAN - WEST ELECTRICAL
E1.04 SECOND FLOOR PLAN - EAST ELECTRICAL
E1.05 THIRD FLOOR PLAN WEST - ELECTRICAL
E1.06 THIRD FLOOR PLAN EAST - ELECTRICAL
E1.07 FOURTH FLOOR PLAN WEST - ELECTRICAL
E1.08 FOURTH FLOOR PLAN EAST - ELECTRICAL
E1.09 ROOF PLAN WEST - ELECTRICAL
E1.10 ROOF PLAN EAST - ELECTRICAL
E2.01 ENLARGED FLOOR PLANS - UNITS A, B, C & D
E2.02 ENLARGED FLOOR PLANS - UNITS E, F, G, H, J & K
E2.03 ENLARGED FLOOR PLANS - UNITS L, M, N, P, Q & R
E2.04 ENLARGED FLOOR PLANS - UNITS S, T, U, V, & W
E2.05 ELECTRICAL PANEL SCHEDULES - APARTMENTS
E2.06 ELECTRICAL PANEL SCHEDULES - APARTMENTS
E2.07 ELECTRICAL PANEL SCHEDULES - APARTMENTS
E2.08 ELECTRICAL PANEL SCHEDULES - APARTMENTS
E3.1 ELECTRICAL RISER DIAGRAMS
E4.1 ELECTRICAL SCHEDULES & ENLARGED ELECTRIC ROOM
E5.1 ELECTRICAL DETAILS

PLUMBING
P-0.1 PLUMBING NOTES, LEGEND AND SCHEDULES
P-1.01 FIRST FLOOR PLAN - WEST PLUMBING
P-1.02 FIRST FLOOR PLAN - EAST PLUMBING
P-1.03 SECOND FLOOR PLAN - WEST PLUMBING
P-1.04 SECOND FLOOR PLAN - EAST PLUMBING
P-1.05 THIRD FLOOR PLAN - WEST PLUMBING
P-1.06 THIRD FLOOR PLAN - EAST PLUMBING
P-1.07 FOURTH FLOOR PLAN - WEST PLUMBING
P-1.08 FOURTH FLOOR PLAN - EAST PLUMBING
P-1.09 ROOF PLAN - WEST PLUMBING
P-1.10 ROOF PLAN - EAST PLUMBING
P-2.1 ENLARGED FLOOR PLANS - UNITS A, B, C, D & E
P-2.2 ENLARGED FLOOR PLANS - UNITS F, G, H, J, K & L
P-2.3 ENLARGED FLOOR PLANS - UNITS M, N, P, Q & R
P-2.4 ENLARGED FLOOR PLANS - UNITS S, T, U, V & W

P-3.1 PLUMBING ISOMETRICS
P-3.2 PLUMBING ISOMETRICS
P-3.3 PLUMBING ISOMETRICS
P-3.4 PLUMBING ISOMETRICS
P-4.1 PLUMBING DETAILS
P-4.2 PLUMBING DETAILS

FIRE ALARM
FA0.1 FIRE ALARM NOTES, LEGEND & SCHEDULES
FA1.01 FIRST FLOOR PLAN - FIRE ALARM
FA1.02 SECOND FLOOR PLAN - FIRE ALARM
FA1.03 THIRD FLOOR PLAN - FIRE ALARM
FA1.04 FOURTH FLOOR PLAN - FIRE ALARM
FA1.05 ROOF PLAN - FIRE ALARM
FA2.1 FIRE ALARM RISER DIAGRAM

FIRE PROTECTION
FP0.1 FIRE PROTECTION NOTES, DETAILS, SCHEDULES
FP1.01 FIRST FLOOR PLAN - WEST FIRE PROTECTION
FP1.02 FIRST FLOOR PLAN - EAST FIRE PROTECTION
FP1.03 SECOND FLOOR PLAN - WEST FIRE PROTECTION
FP1.04 SECOND FLOOR PLAN - EAST FIRE PROTECTION
FP1.05 THIRD FLOOR PLAN - WEST FIRE PROTECTION
FP1.06 THIRD FLOOR PLAN - EAST FIRE PROTECTION
FP1.07 FOURTH FLOOR PLAN - WEST FIRE PROTECTION
FP1.08 FOURTH FLOOR PLAN - EAST FIRE PROTECTION
FP1.09 ROOF PLAN - WEST FIRE PROTECTION
FP1.10 ROOF PLAN - EAST FIRE PROTECTION
FP2.1 ENLARGED FLOOR PLANS - UNITS A, B, C, D, E, T, U, & V
FP2.2 ENLARGED FLOOR PLANS - UNITS F, G, H, J, K, H, & W
FP2.3 ENLARGED FLOOR PLANS - UNITS P, Q, R, & S

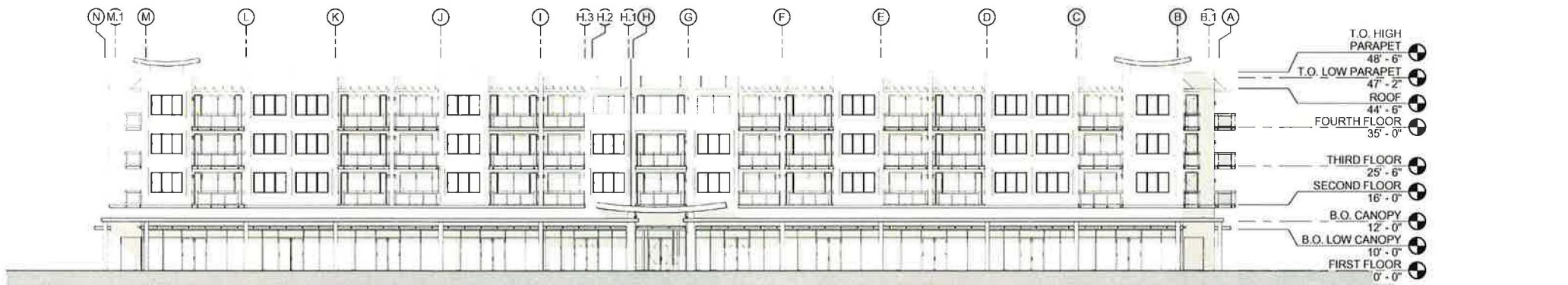
SURVEY
1 OF 2 BOUNDARY AND TOPOGRAPHIC SURVEY
2 OF 2 BOUNDARY AND TOPOGRAPHIC SURVEY
CIVIL
1 OF 17 COMPOSITE UTILITY PLAN
4 OF 17 PAVING & DRAINAGE PLAN (800 BUILDING)
7 OF 17 WATER & WASTEWATER PLAN (800 BUILDING)
8 OF 17 PAVING & DRAINAGE DETAILS

LANDSCAPE
LP-1 LANDSCAPE PLAN
LP-4 LANDSCAPE PLAN 800 BLOCK
LP-6 LANDSCAPE PLAN DETAILS & NOTES
TP-1 TREE PRESERVATION PLAN 800 BLOCK
TP-3 TREE PRESERVATION PLAN 800 BLOCK

UPTOWN ATLANTIC - 800 BLOCK

04-01-2016 PERMIT SET

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4/5/2016 11:58:54 AM



1 NORTH ELEVATION- OVERALL BUILDING
A3.01 1/16" = 1'-0"



2 NORTH ELEVATION- NORTHEAST SECTION
A3.01 1/8" = 1'-0"



3 NORTH ELEVATION- NORTHWEST SECTION
A3.01 1/8" = 1'-0"

EXTERIOR FINISHES

WALLS:	
EXTERIOR WALLS:	3/4" STUCCO (SMOOTH), PAINTED
STOREFRONT:	E S P. FINISH ALUMINUM W/ IMPACT GLAZING
DOORS:	E S P. FINISH ALUMINUM W/ IMPACT GLAZING
WINDOWS:	E S P. FINISH ALUMINUM CASEMENT
ROOFING:	
ROOF:	MODIFIED BITUMEN ON TAPERED INSULATION
FLASHING/COPING:	ALUMINUM
MISCELLANEOUS:	
EXTERIOR LIGHTS:	WALL MOUNTED CANOPY LIGHTING
GUARDRAIL/	
HANDGUARD RAIL:	METAL MESH GUARD RAIL
PAVERS:	SIDEWALKS BRICK PAVERS TO MATCH 6" STANDARD

EXTERIOR PAINT LEGEND

ITEM	EXTERIOR PAINT COLOR
P-1	WHITE
P-2	BLUE
P-3	YELLOW



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ISSUED FOR:

REV:

PERMIT 04-01-16

CONSTRUCTION

SEAL

PROJECT TITLE

**UPTOWN
ATLANTIC - 800
BLOCK**

W. ATLANTIC BLVD., DELRAY
BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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FILE NUMBER

DRAWING TITLE

ELEVATIONS

DATE 04/01/2016 DRAWN BY M.M.

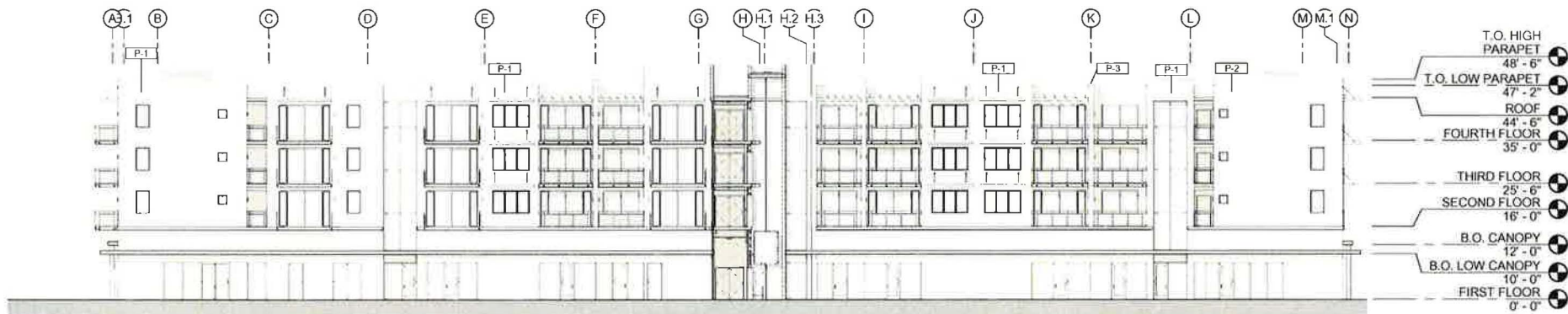
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DRAWING NUMBER

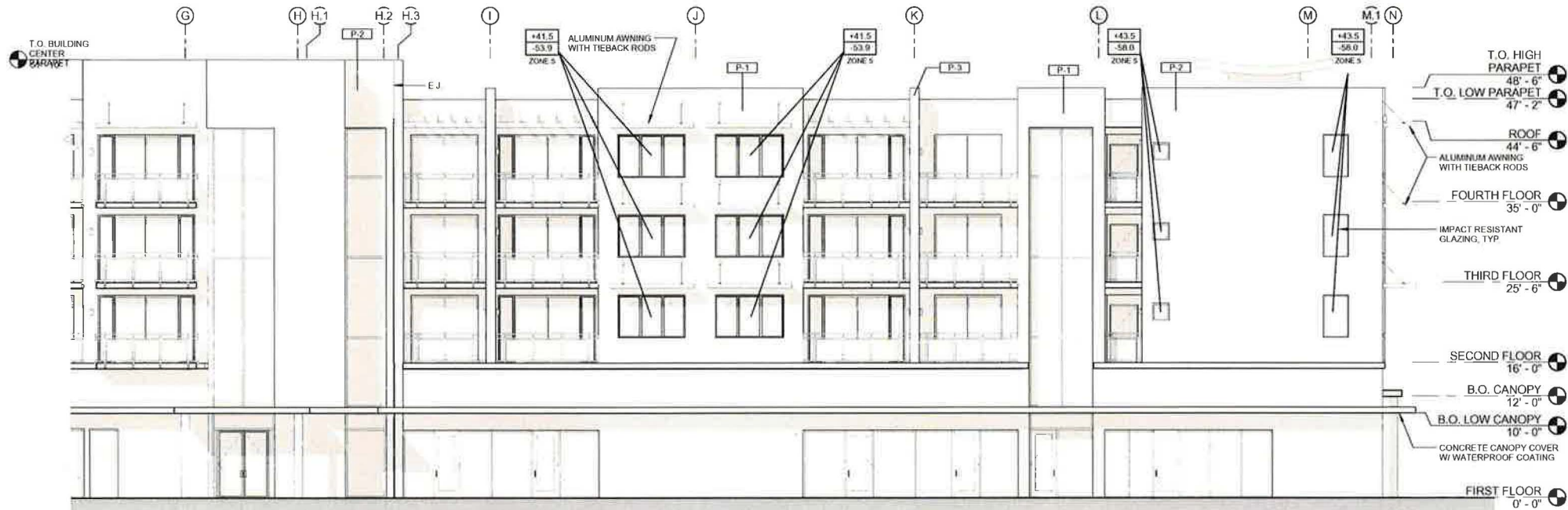
A3.01

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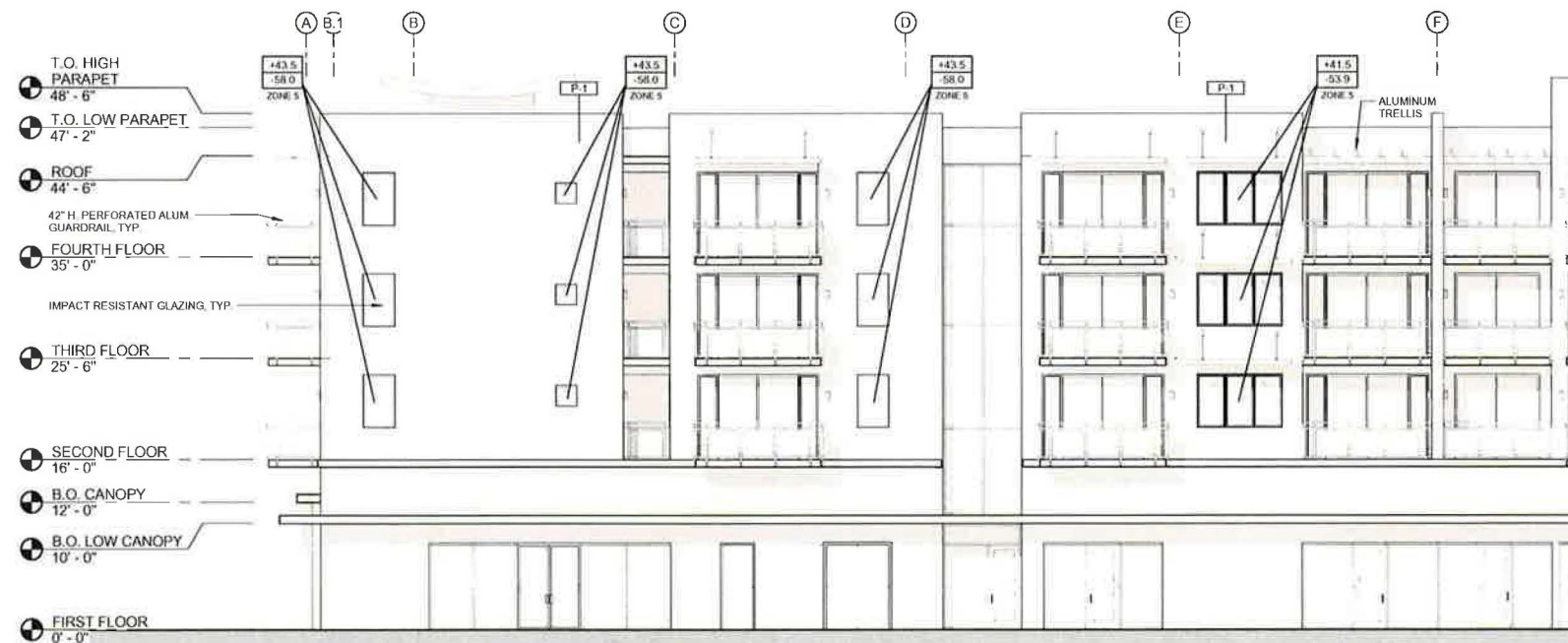
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1 SOUTH ELEVATION- OVERALL BUILDING
A3.02 1/8" = 1'-0"



2 SOUTH ELEVATION- SOUTHEAST SECTION
A3.02 1/8" = 1'-0"



3 SOUTH ELEVATION- SOUTHWEST SECTION
A3.02 1/8" = 1'-0"

EXTERIOR FINISHES

WALLS:	3/4" STUCCO (SMOOTH); PAINTED
EXTERIOR WALLS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
STOREFRONT:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
DOOR:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
WINDOWS:	E.S.P. FINISH ALUMINUM CASEMENT
ROOFING:	MODIFIED BITUMEN ON TAPERED INSULATION
FLASHING/COPING:	ALUMINUM
MISCELLANEOUS:	WALL MOUNTED CANOPY LIGHTING
EXTERIOR LIGHTS:	METAL MESH GUARD RAIL
GUARDGUARD RAIL/	SIDEWALKS BRICK PAVERS TO MATCH 6" STANDARD
HANDGUARD RAIL:	
PAVERS:	

EXTERIOR PAINT LEGEND

ITEM	EXTERIOR PAINT COLOR
P-1	WHITE
P-2	BLUE
P-3	YELLOW



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CONSTRUCTION

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PROJECT TITLE

**UPTOWN
ATLANTIC - 800
BLOCK**

W. ATLANTIC BLVD., DELRAY
BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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ELEVATIONS

DATE 04/01/2016 DRAWN BY

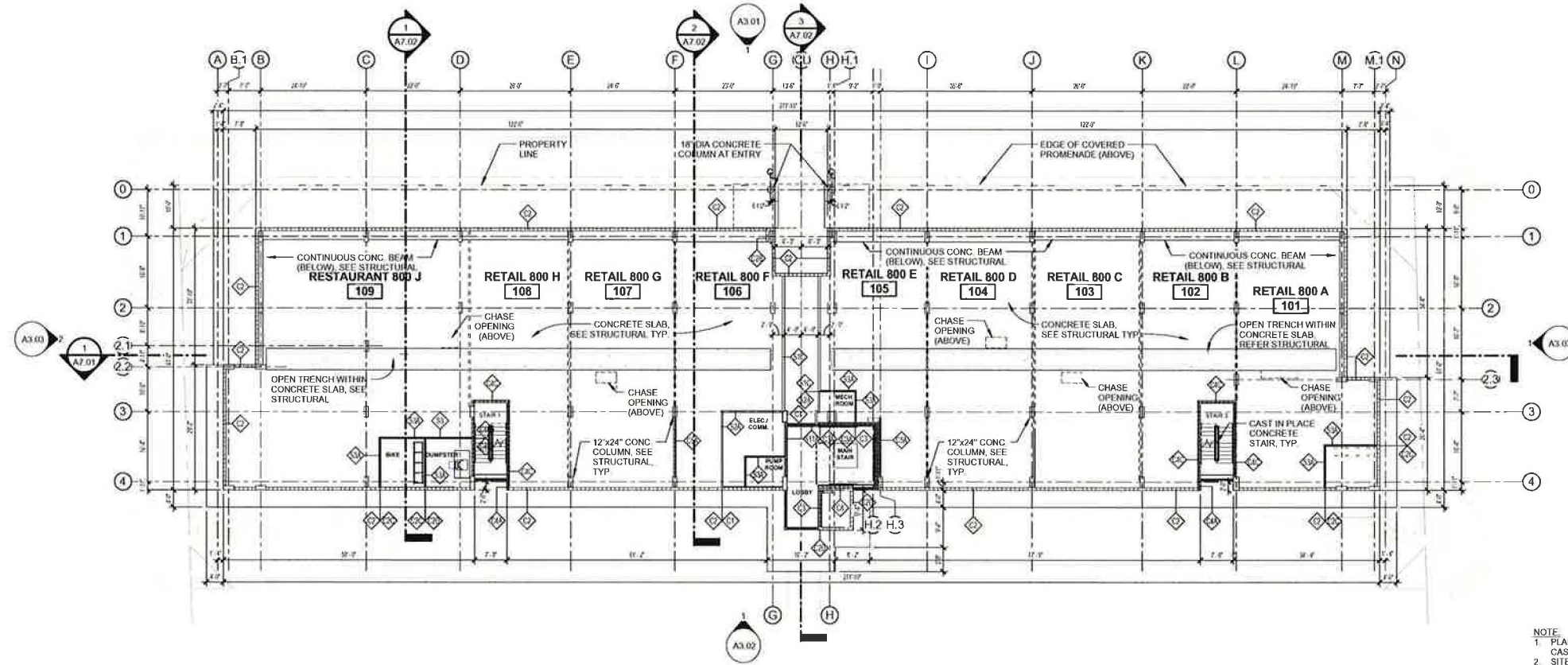
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A3.02

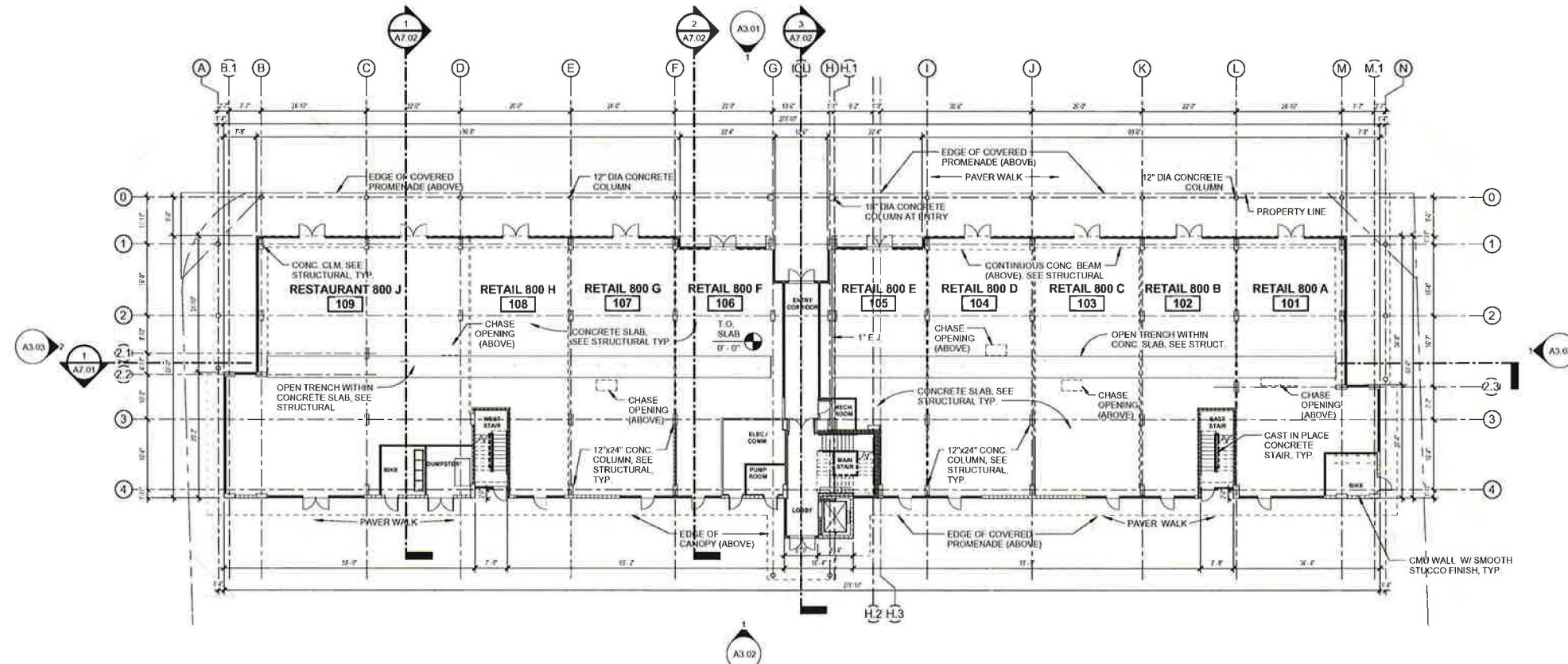
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5/18/2016 2:32:50 PM



NOTE:
1. PLAN SHOWS WALLS ABOVE STOREFRONT SYSTEM AND
2. SITE PLAN IS SHOWN FOR REFERENCE ONLY, UNDER SEPARATE PERMIT

2 FIRST FLOOR PLAN - ABOVE STOREFRONT
A2.01 1/16" = 1'-0"



1 FIRST FLOOR PLAN - AT GRADE
A2.01 1/16" = 1'-0"



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SEAL

PROJECT TITLE
**UPTOWN
ATLANTIC - 800
BLOCK**

W. ATLANTIC AVE., DELRAY
BEACH, FL

NUM	DESCRIPTION	DATE
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DRAWING TITLE
**FIRST FLOOR
OVERALL FLOOR
PLANS**

DATE 04/01/2016 DRAWN BY M.M.
JOB NUMBER 121108
DRAWING NUMBER

A2.01

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CONSTRUCTION:

SEAL:

PROJECT TITLE:

**UPTOWN
ATLANTIC - 800
BLOCK**

W. ATLANTIC AVE., DELRAY
BEACH, FL

REV	DESCRIPTION	DATE
1	Response to Building Department Comments	06/13/2016

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-E.L.C. FLSB001

DRAWING TITLE:

**SECOND & THIRD
OVERALL FLOOR PLANS**

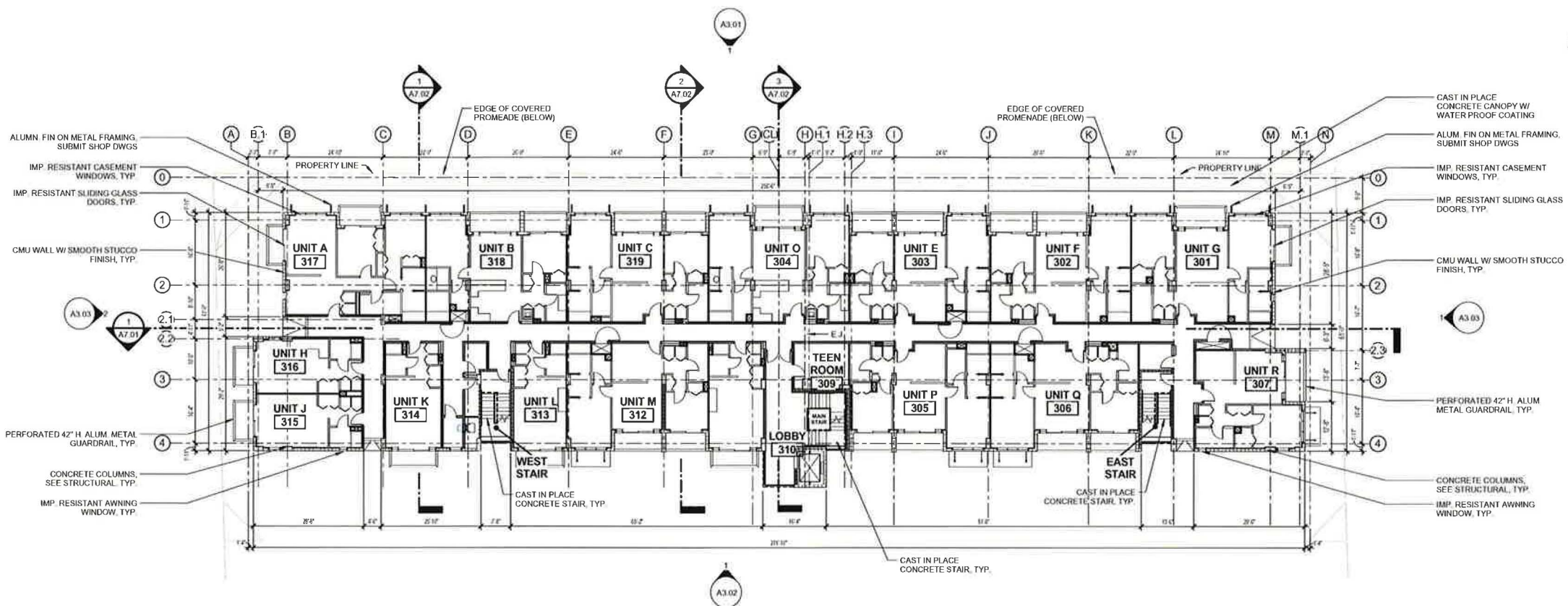
DATE 04/01/2016 DRAWN BY Author

JOB NUMBER 121108

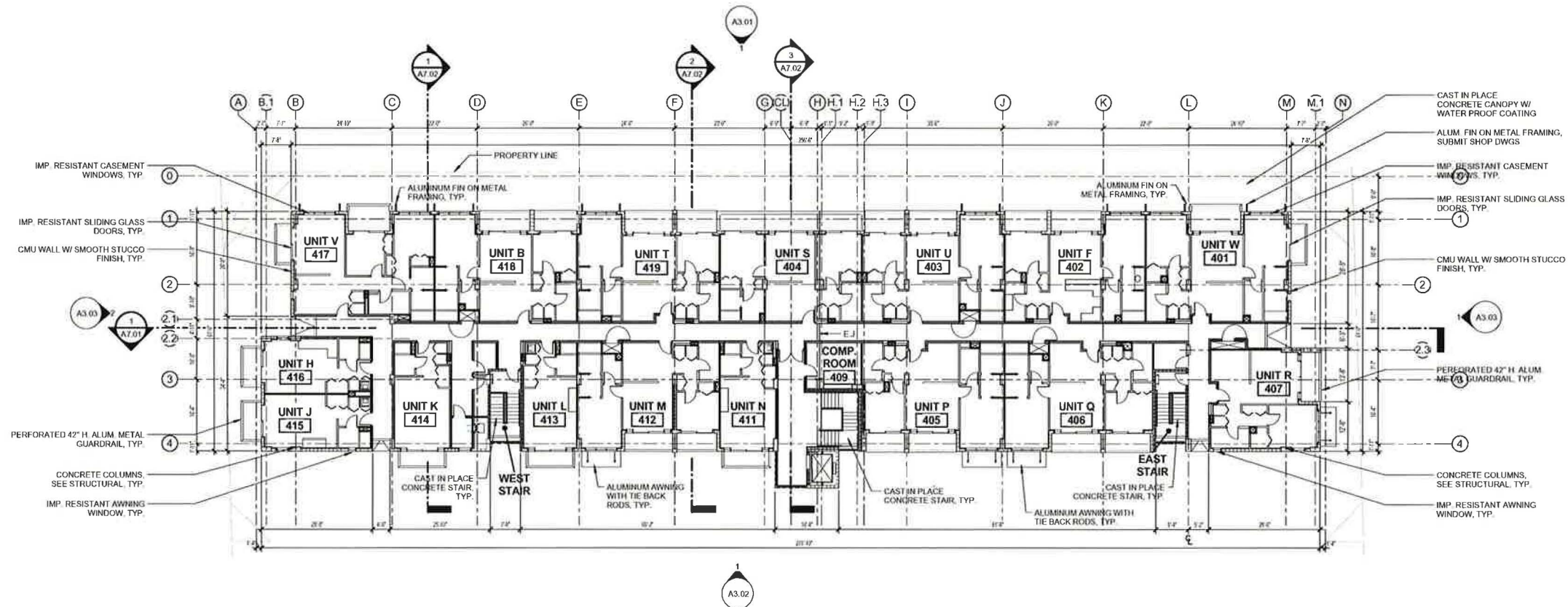
DRAWING NUMBER

A2.02

04-01-16 PERMIT SET

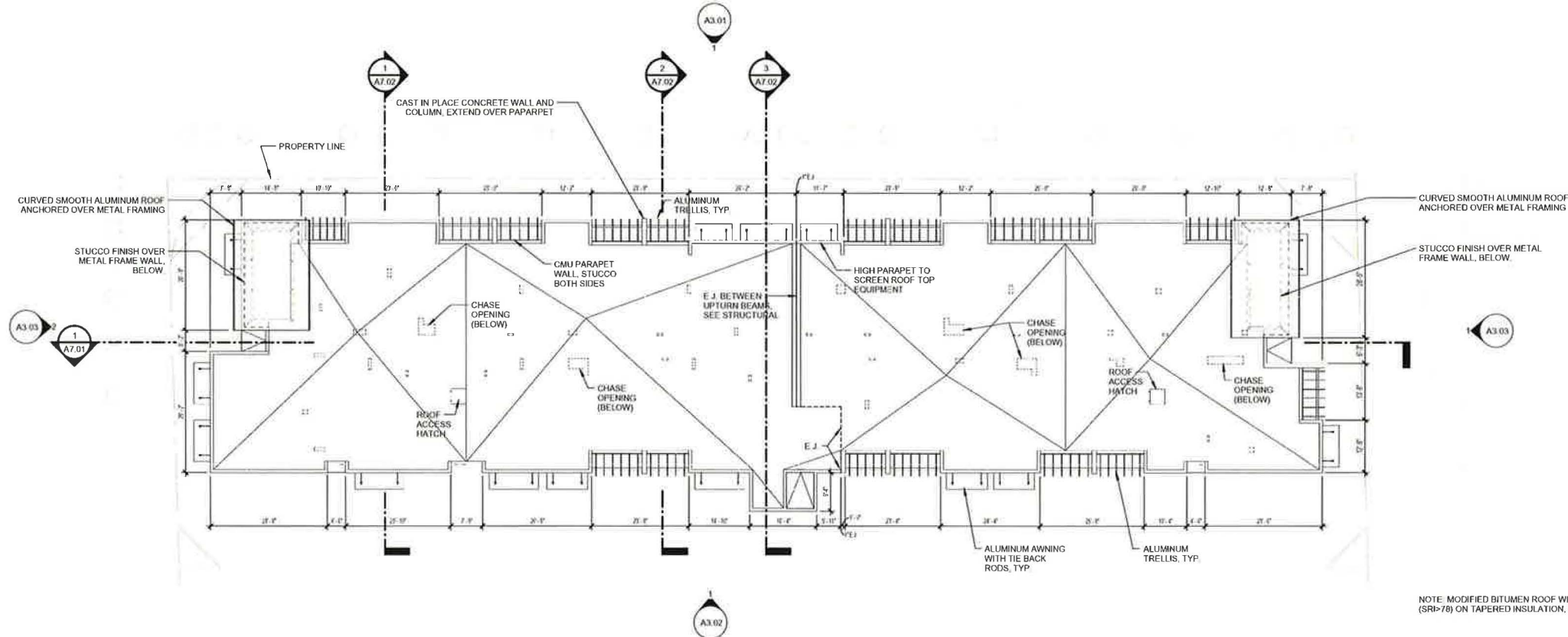


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6/16/2016 2:22:54 PM



NOTE: REFER TO ENLARGED UNIT PLANS SHEETS A4.01, A4.02, A4.03 AND A4.04 FOR UNIT PLAN LAYOUTS

2 FOURTH FLOOR PLAN-OVERALL
A2.02 1/16" = 1'-0"



NOTE: MODIFIED BITUMEN ROOF WITH WHITE CAPSHEET (SRP-78) ON TAPERED INSULATION, SLOPE TO DRAIN

1 ROOF PLAN-OVERALL
A2.03 1/16" = 1'-0"



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CONSTRUCTION

SEAL

PROJECT TITLE

**UPTOWN
ATLANTIC - 800
BLOCK**

W. ATLANTIC AVE., DELRAY
BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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INDICATED ON THE PLANS OR NOT.
FILE NUMBER

DRAWING TITLE

**FOURTH & ROOF
OVERALL FLOOR
PLANS**

DATE 04/01/2016 DRAWN BY M.M.

JOB NUMBER 121108

DRAWING NUMBER

04-01-16 PERMIT SET

A2.03

UPTOWN ATLANTIC- TOWN HOUSE 700 BLOCK - 2/2/1

700 BLOCK W. ATLANTIC BLVD.
DELRAY BEACH, FL



LANDSCAPE ARCHITECT :
COVELLI DESIGN ASSOCIATES INC.

2295 NW Corporate Blvd, Suite 213
Boca Raton, Florida 33431
TEL: 561-910-0330

STRUCTURAL ENGINEER :
MCCARTHY AND ASSOCIATES

601 North Congress Avenue
Suite 106A
Delray Beach, Florida 33483
TEL: 561 921-0338
FAX: 561 921-0340

M.E.P. ENGINEER:
THOMPSON AND YOUNGROSS ENGINEERING CONSULTANTS

902 CLINT MOORE ROAD, SUITE 142
BOCA RATON, FLORIDA 33487
TEL: 561 274-0200
FAX: 561 274-0222

CIVIL ENGINEER:
ENVIRODESIGN ASSOCIATES INC.

298 PINEAPPLE GROVE WAY
DELRAY BEACH, FL 33444
TEL: 561-274-6500
FAX: 561-274-8558
E-MAIL: envdesign.com

ARCHITECT:
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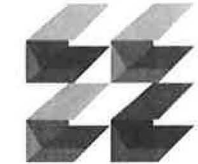
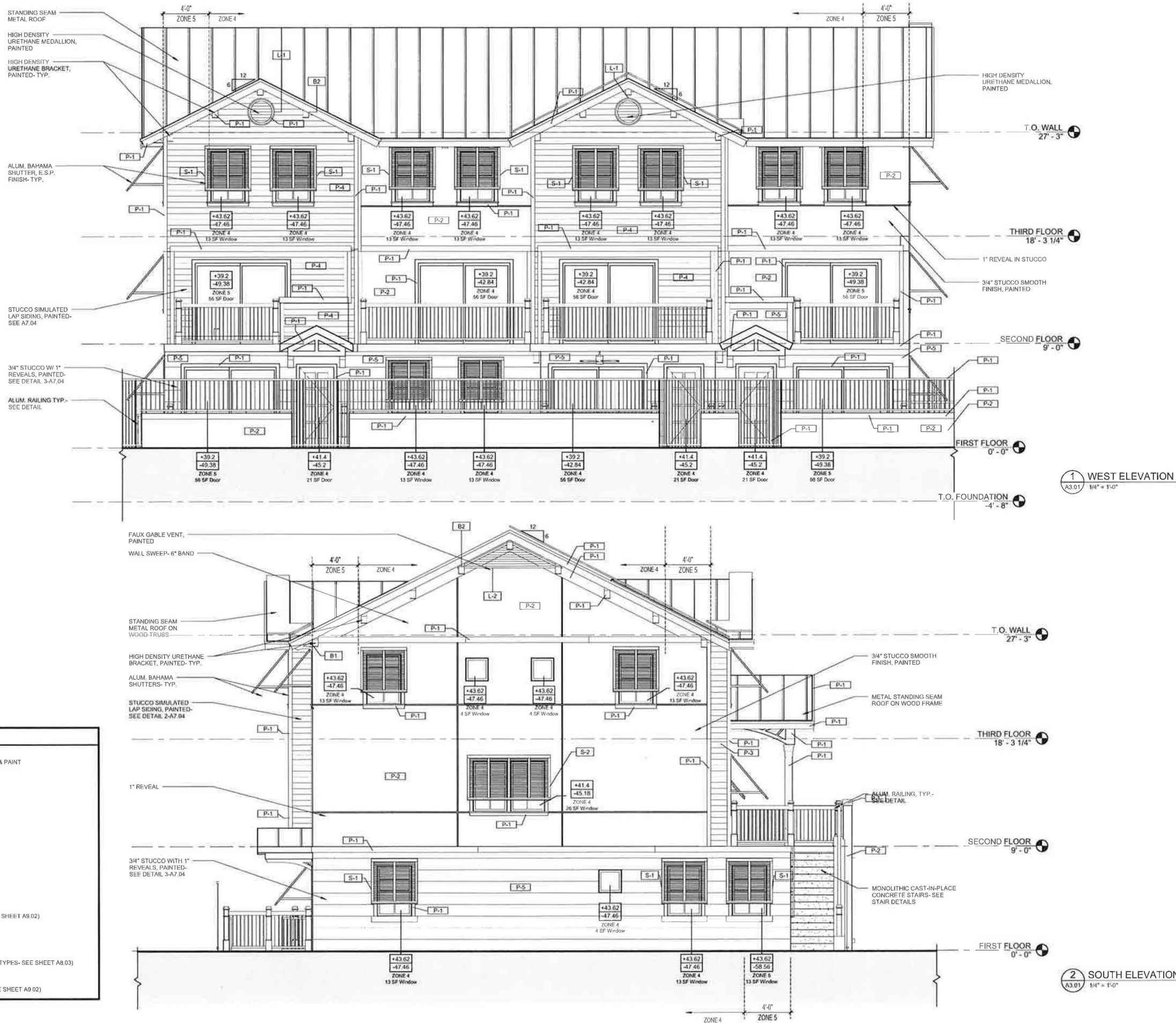
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Sheet Number	Sheet Name	STRUCTURAL	M.E.P.	SURVEY	LANDSCAPE
A0-COVER	COVER	S0.1 STRUCTURAL SPECIFICATIONS	M0.1 MECHANICAL NOTES, SYMBOLS & SCHEDULES	1 of 2 8071-1 B /Land Description, Report, Symbol Legend	LP-1 of 6 LANDSCAPE PLAN
A0.01	SPECIFICATIONS	S0.2 STRUCTURAL SPECIFICATIONS & WIND CHARTS	M1.1 FIRST FLOOR PLAN MECHANICAL	2 of 2 8071-1 B /Boundary & Topographic Survey	LP-2 of 6 LANDSCAPE PLAN 600 Block
A0.02	SPECIFICATIONS	S1.0 FOUNDATION PLAN	M1.2 SECOND FLOOR PLAN MECHANICAL		LP-3 of 6 LANDSCAPE PLAN 700 Block
A0.03	SPECIFICATIONS	S2.0 2ND FLOOR FRAMING PLAN	M1.3 THIRD FLOOR PLAN MECHANICAL		LP-4 of 6 LANDSCAPE PLAN 800 Block
A0.04	SPECIFICATIONS	S3.0 3RD FLOOR FRAMING PLAN	E0.1 ELECTRICAL NOTES & SYMBOLS		LP-5 of 6 LANDSCAPE PLAN 600 Block Planters
A1.01	SITE PLAN- OVERALL	S4.0 ROOF FRAMING PLAN	E1.1 ELECTRICAL PWR & LTG PLAN		700 Block Courtyard
A1.02	2-2-1 SITE PLAN	S5.0 FOUNDATION DETAILS	E2.1 ELECTRICAL PWR & LTG PLAN		Townhouse Typicals
A1.03	SITE DETAILS	S5.1 FRAMING DETAILS	E3.1 ELECTRICAL PWR & LTG PLAN	1 of 14 CIVIL SITE IMPROVEMENTS KEY MAP	LP-6 of 6 LANDSCAPE PLAN Details & Notes
A2.01	FIRST FLOOR PLAN		E4.1 ELECTRICAL PANEL SCHEDULES	2 of 14 PAVING & DRAINAGE PLAN	
A2.02	SECOND FLOOR PLAN		P1.1 FIRST FLOOR PLAN PLUMBING	3 of 14 PAVING & DRAINAGE PLAN	
A2.03	THIRD FLOOR PLAN		P1.2 SECOND FLOOR PLAN PLUMBING	4 of 14 PAVING & DRAINAGE PLAN	
A2.04	ROOF PLAN		P1.3 THIRD FLOOR PLAN PLUMBING	5 of 14 WATER & WASTEWATER PLAN	
A3.01	ELEVATIONS			6 of 14 WATER & WASTEWATER PLAN	
A3.02	ELEVATIONS			7 of 14 WATER & WASTEWATER PLAN	
A3.03	ELEVATIONS			8 of 14 PAVING & DRAINAGE DETAILS	
A3.04	ELEVATIONS			9 of 14 PAVING & DRAINAGE DETAILS	
A4.01	ENLARGED STAIR DETAILS			10 of 14 PAVING & DRAINAGE DETAILS	
A4.02	ENLARGED PLANS			11 of 14 PAVING & DRAINAGE DETAILS	
A4.03	ENLARGED PLANS			12 of 14 WATER & WASTEWATER DETAILS	
A5.01	INTERIOR ELEVATIONS- BATHROOMS			13 of 14 WATER & WASTEWATER DETAILS	
A5.02	INTERIOR ELEVATIONS- KITCHENS			14 of 14 POLLUTION PREVENTION PLAN	
A6.01	REFLECTED CEILING PLANS				
A6.02	REFLECTED CEILING PLANS				
A6.03	REFLECTED CEILING PLANS				
A7.01	SECTIONS				
A7.02	SECTIONS				
A7.03	WALL SECTIONS				
A7.04	WALL SECTIONS				
A7.05	WALL SECTION DETAILS				
A8.01	WALL TYPES				
A8.02	WALL TYPES				
A8.03	DETAILS				
A8.04	DETAILS				
A8.05	DETAILS				
A8.06	LOUVER DETAILS				
A9.01	DOOR SCHEDULE & DETAILS				
A9.02	WINDOW ELEVATIONS & DETAILS				
A9.11	DOOR DETAILS				
A9.21	FIRST FLOOR FINISH PLAN				
A9.22	SECOND FLOOR FINISH PLAN				
A9.23	THIRD FLOOR FINISH PLAN				

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EXTERIOR MATERIAL LEGEND	
ITEM	EXTERIOR PAINT COLOR
P-1	MATCH SHERWIN WILLIAMS SW7138 "LAVENDAR WISP"
P-2	MATCH SHERWIN WILLIAMS SW7121 "CORONA"
P-3	MATCH SHERWIN WILLIAMS SW6771 "BATHE BLUE"
P-4	MATCH SHERWIN WILLIAMS SW6449 "TOPIARY TINT"
P-5	MATCH SHERWIN WILLIAMS SW2822 "DOWNING SAND"
P-6	MATCH SHERWIN WILLIAMS SW0060 "ALEXANDRITE"

EXTERIOR FINISHES	
WALLS:	
EXTERIOR WALLS:	3/4" STUCCO TEXTURE SIMULATED LAP SIDING & PAINT 3/4" STUCCO SMOOTH FINISH & PAINT
FLAT WALL TRIM:	1x6 STUCCO TRIM, PAINTED
CORNER WALL TRIM:	1x4 STUCCO TRIM, PAINTED
DOOR:	
DOORS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
WINDOW:	
WINDOWS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
ROOFING:	
ROOF:	STANDING SEAM METAL ROOF, SILVER
GUTTERS/DOWNSPOUTS:	E.S.P. FINISH ALUMINUM
FLASHING/COPING:	ALUMINUM
MISCELLANEOUS:	
EXTERIOR LIGHTS:	WALL MOUNTED LIGHTING
SHUTTER:	E.S.P. FINISH ALUMINUM (SHUTTER TYPES- SEE SHEET A9.02)
TRELLIS:	E.S.P. FINISH ALUMINUM
GUARDRAIL/ HANDRAIL:	WOOD, PAINTED
BRACKET:	HIGH DENSITY URETHANE, PAINTED (BRACKET TYPES- SEE SHEET A8.03)
PAVERS:	BRICK
ALUM LOUVERS:	HIGH DENSITY URETHANE (LOUVER TYPES- SEE SHEET A9.02)



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E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS 00/00/0000

PERMIT

CONSTRUCTION

SEAL

PROJECT TITLE

UPTOWN
ATLANTIC -
TOWN HOUSE
700 BLOCK -
1/2/1

700 BLOCK W. ATLANTIC
AVE. DELRAY BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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FILE NUMBER

12-16-2015

12-16-2015

DRAWING TITLE

ELEVATIONS

DATE
12/16/2015

CRAWN BY
MM,JC

JOB NUMBER

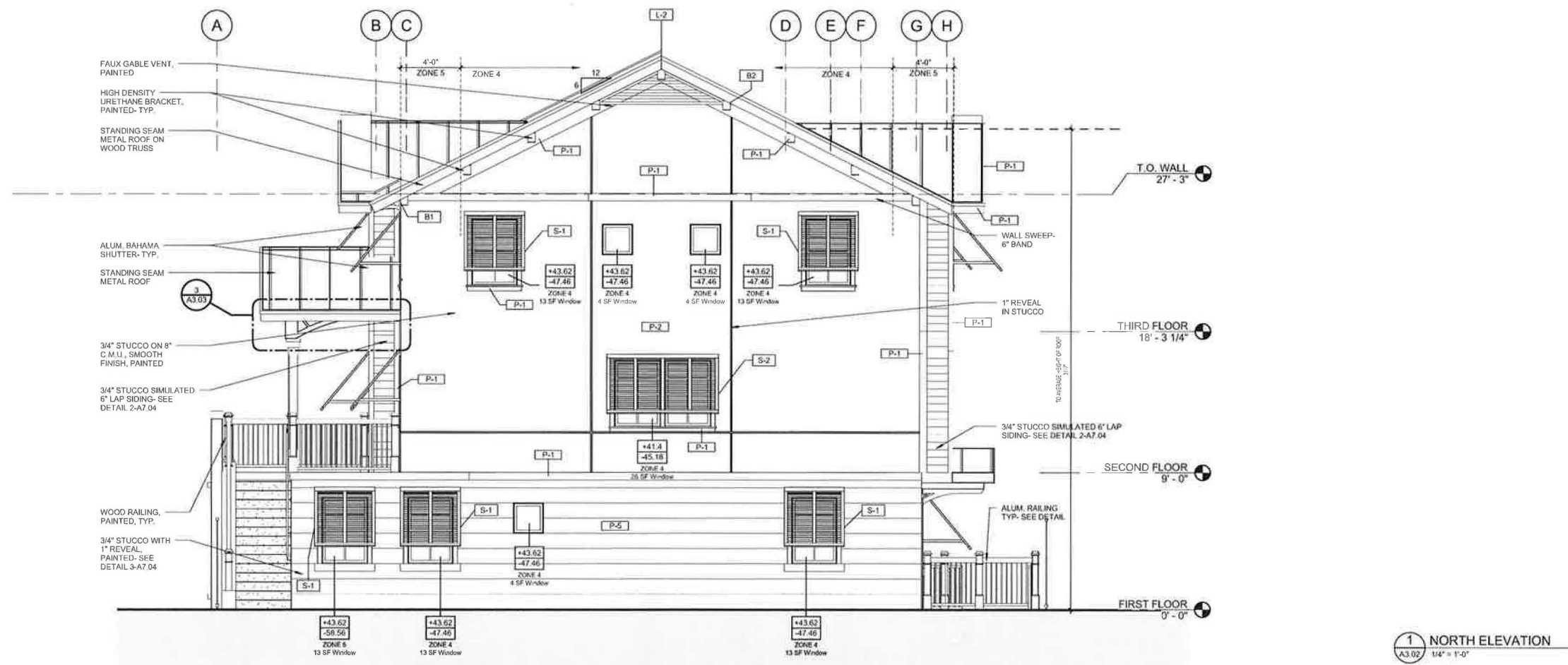
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DRAWING NUMBER

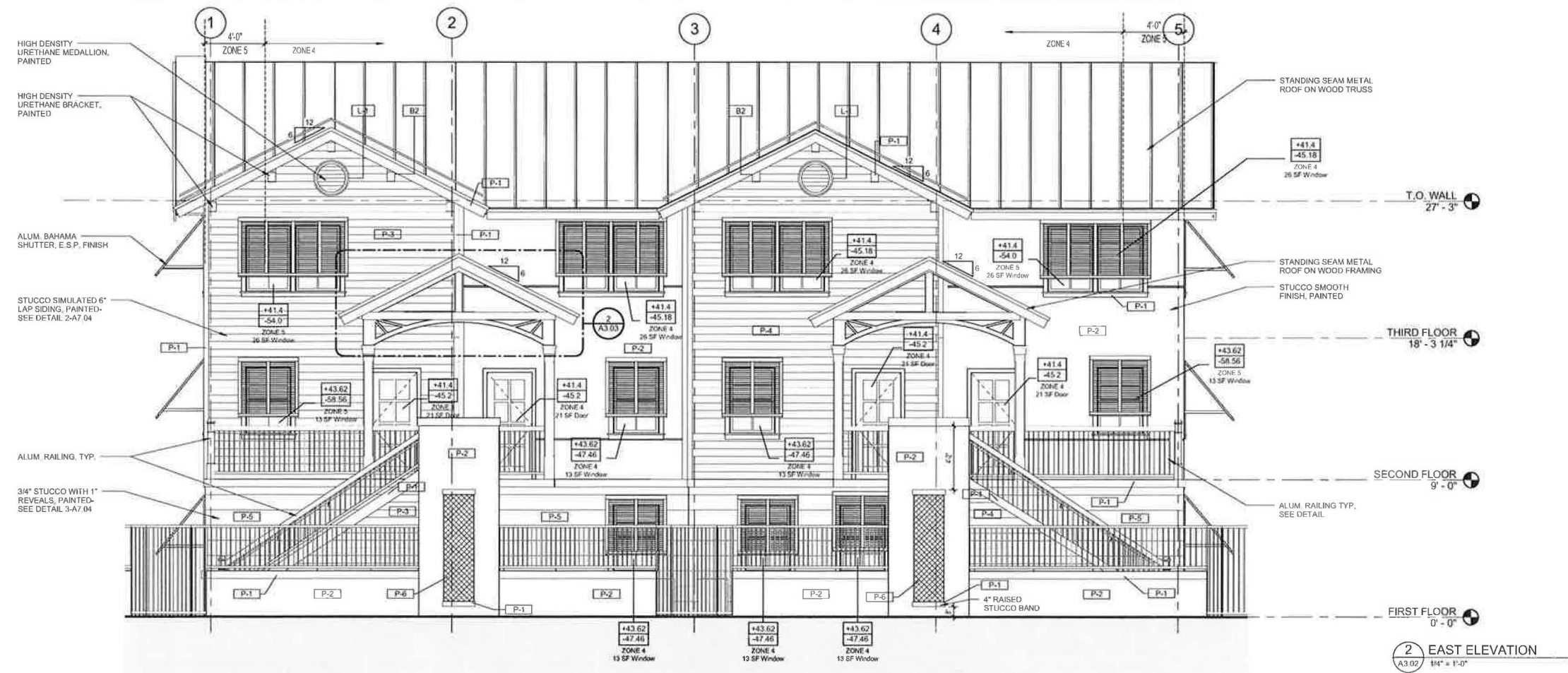
A3.01

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1/15/2016 1:36:18 PM



1 NORTH ELEVATION
A3.02 1/4" = 1'-0"



2 EAST ELEVATION
A3.02 1/4" = 1'-0"



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SEAL

PROJECT TITLE

UPTOWN
ATLANTIC -
TOWN HOUSE
700 BLOCK -
1/2/1

700 BLOCK W. ATLANTIC
AVE. DELRAY BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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FILL MODEL

1/15/2016 1:36:18 PM

DRAWING TITLE

ELEVATIONS

DATE 12/16/2015

DESIGNER M.M.

PROJECT NUMBER 121108

DRAWING NUMBER

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A3.02

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SEAL

PROJECT TITLE

**UPTOWN
ATLANTIC- TOWN
HOUSE 700
BLOCK - 2/2/1**

700 BLOCK W. ATLANTIC
AVE,
DELRAY BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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FILE NUMBER
DATE
DRAWN BY

DATE
JOB NUMBER
DRAWING NUMBER

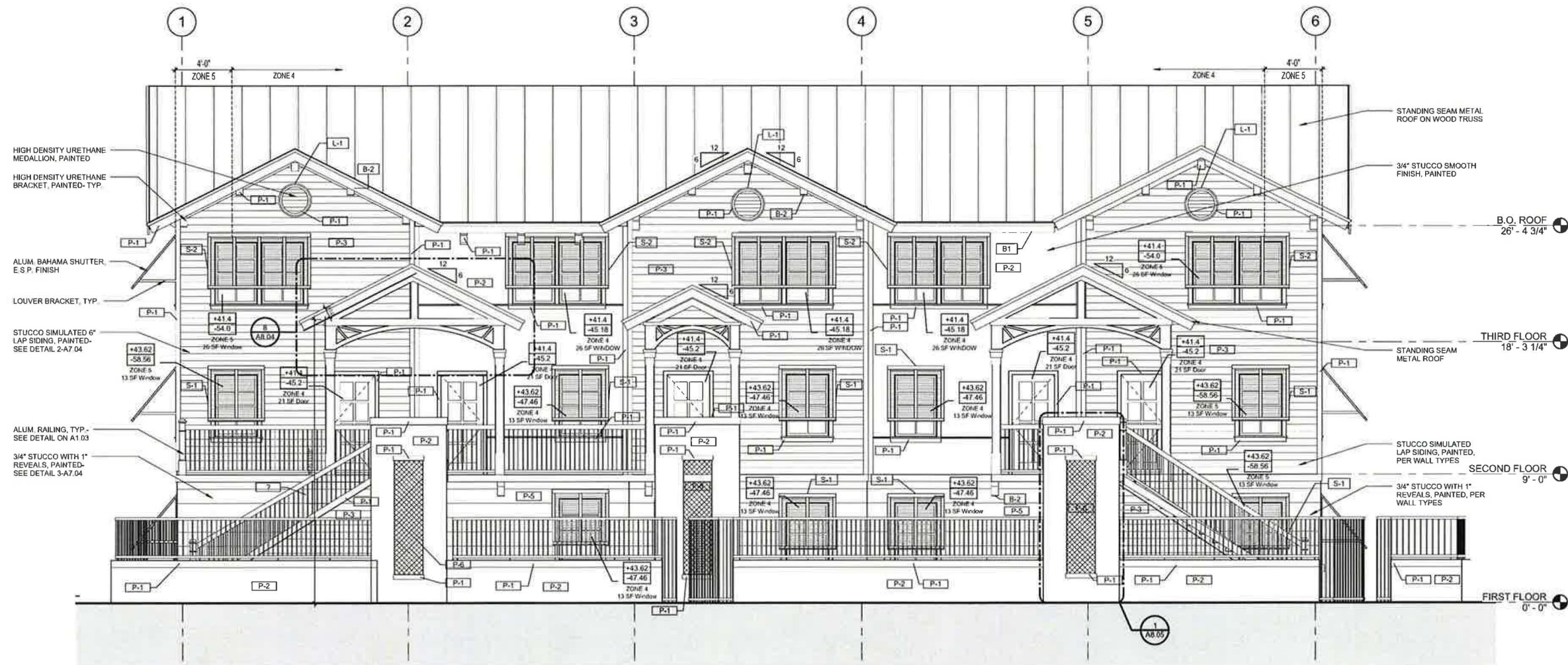
ELEVATIONS

DATE
JOB NUMBER
DRAWING NUMBER

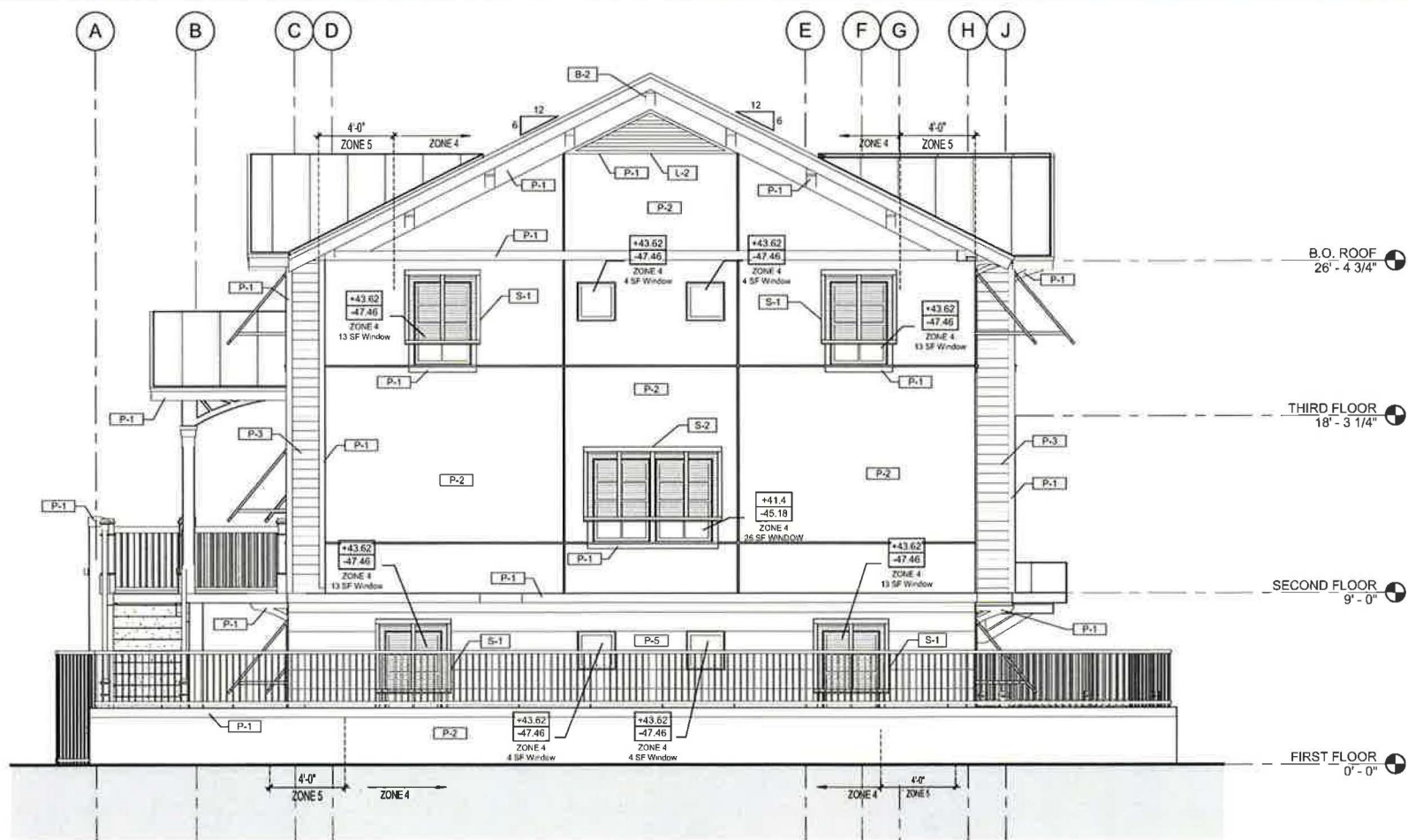
DATE
JOB NUMBER
DRAWING NUMBER

DRAWING NUMBER

A3.01



1 WEST ELEVATION
A3.01 1/4" = 1'-0"



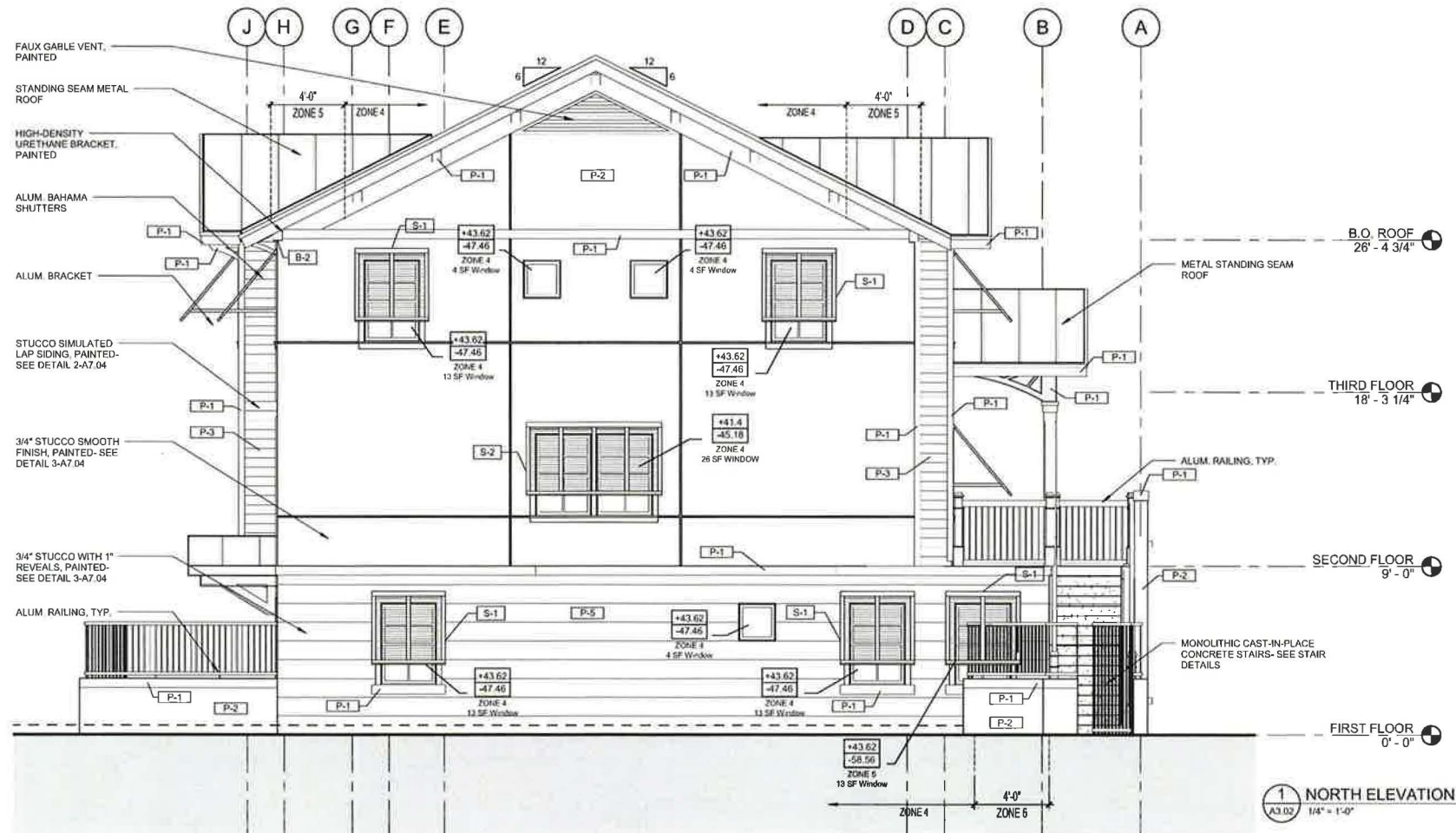
2 SOUTH ELEVATION
A3.01 1/4" = 1'-0"

EXTERIOR PAINT LEGEND	
ITEM	EXTERIOR PAINT COLOR
P-1	MATCH SHERWIN WILLIAMS SW7138 "LAVENDAR WISP"
P-2	MATCH SHERWIN WILLIAMS SW7121 "CORONA"
P-3	MATCH SHERWIN WILLIAMS SW6771 "BATHE BLUE"
P-4	MATCH SHERWIN WILLIAMS SW6449 "TOPIARY TINT"
P-5	MATCH SHERWIN WILLIAMS SW2822 "DOWNING SAND"
P-6	MATCH SHERWIN WILLIAMS SW0060 "ALEXANDRITE"

EXTERIOR FINISHES

WALLS:	
EXTERIOR WALLS:	3/4" STUCCO TEXTURE SIMULATED LAP SIDING & PAINT 3/4" STUCCO SMOOTH FINISH & PAINT
FLAT WALL TRIM:	1x6 STUCCO TRIM, PAINTED
CORNER WALL TRIM:	1x4 STUCCO TRIM, PAINTED
DOOR:	
DOORS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
WINDOW:	
WINDOWS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
ROOFING:	
ROOF:	STANDING SEAM METAL ROOF, SILVER
GUTTERS/DOWNSPOUTS:	
GUTTERS/DOWNSPOUTS:	E.S.P. FINISH ALUMINUM
FLASHING/COPING:	
FLASHING/COPING:	ALUMINUM
MISCELLANEOUS:	
EXTERIOR LIGHTS:	WALL MOUNTED LIGHTING
SHUTTER:	E.S.P. FINISH ALUMINUM (SHUTTER TYPES- SEE SHEET A9.02)
TRELLIS:	E.S.P. FINISH ALUMINUM
GUARDRAIL/ HANDRAIL:	WOOD, PAINTED
BRACKET:	HIGH DENSITY URETHANE, PAINTED (BRACKET TYPES- SEE SHEET A8.03)
PAVERS:	BRICK
FAUX LOUVERS:	HIGH DENSITY URETHANE (LOUVER TYPES- SEE SHEET A9.02)

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EXTERIOR PAINT LEGEND	
ITEM	EXTERIOR PAINT COLOR
P-1	MATCH SHERWIN WILLIAMS SW7138 "LAVENDAR WISP"
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P-3	MATCH SHERWIN WILLIAMS SW6771 "BATHE BLUE"
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P-5	MATCH SHERWIN WILLIAMS SW2822 "DOWNING SAND"
P-6	MATCH SHERWIN WILLIAMS SW0060 "ALEXANDRITE"

EXTERIOR FINISHES	
WALLS:	
EXTERIOR WALLS:	3/4" STUCCO TEXTURE SIMULATED LAP SIDING & PAINT
FLAT WALL TRIM:	1x6 STUCCO TRIM, PAINTED
CORNER WALL TRIM:	1x4 STUCCO TRIM, PAINTED
DOOR:	
DOORS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
WINDOW:	
WINDOWS:	E.S.P. FINISH ALUMINUM W/ IMPACT GLAZING
ROOFING:	
ROOF:	STANDING SEAM METAL ROOF, SILVER
GUTTERS/DOWNSPOUTS:	E.S.P. FINISH ALUMINUM
FLASHING/COPING:	ALUMINUM
MISCELLANEOUS:	
EXTERIOR LIGHTS:	WALL MOUNTED LIGHTING
SHUTTER:	E.S.P. FINISH ALUMINUM (SHUTTER TYPES- SEE SHEET A8 02)
TRELLIS:	E.S.P. FINISH ALUMINUM
GUARDRAIL/HANDRAIL:	WOOD, PAINTED
BRACKET:	HIGH DENSITY URETHANE, PAINTED (BRACKET TYPES- SEE SHEET A8 03)
PAVERS:	BRICK
FAUX LOUVERS:	HIGH DENSITY URETHANE (LOUVER TYPES- SEE SHEET A9 02)



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CONSTRUCTION

SEAL

PROJECT TITLE
**UPTOWN
ATLANTIC- TOWN
HOUSE 700
BLOCK - 2/2/1**

700 BLOCK W. ATLANTIC
AVE.
DELRAY BEACH, FL

NUM	DESCRIPTION	DATE
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DATE
01/20/2016

DRAWN BY
M.M.

CHECKED BY
121108

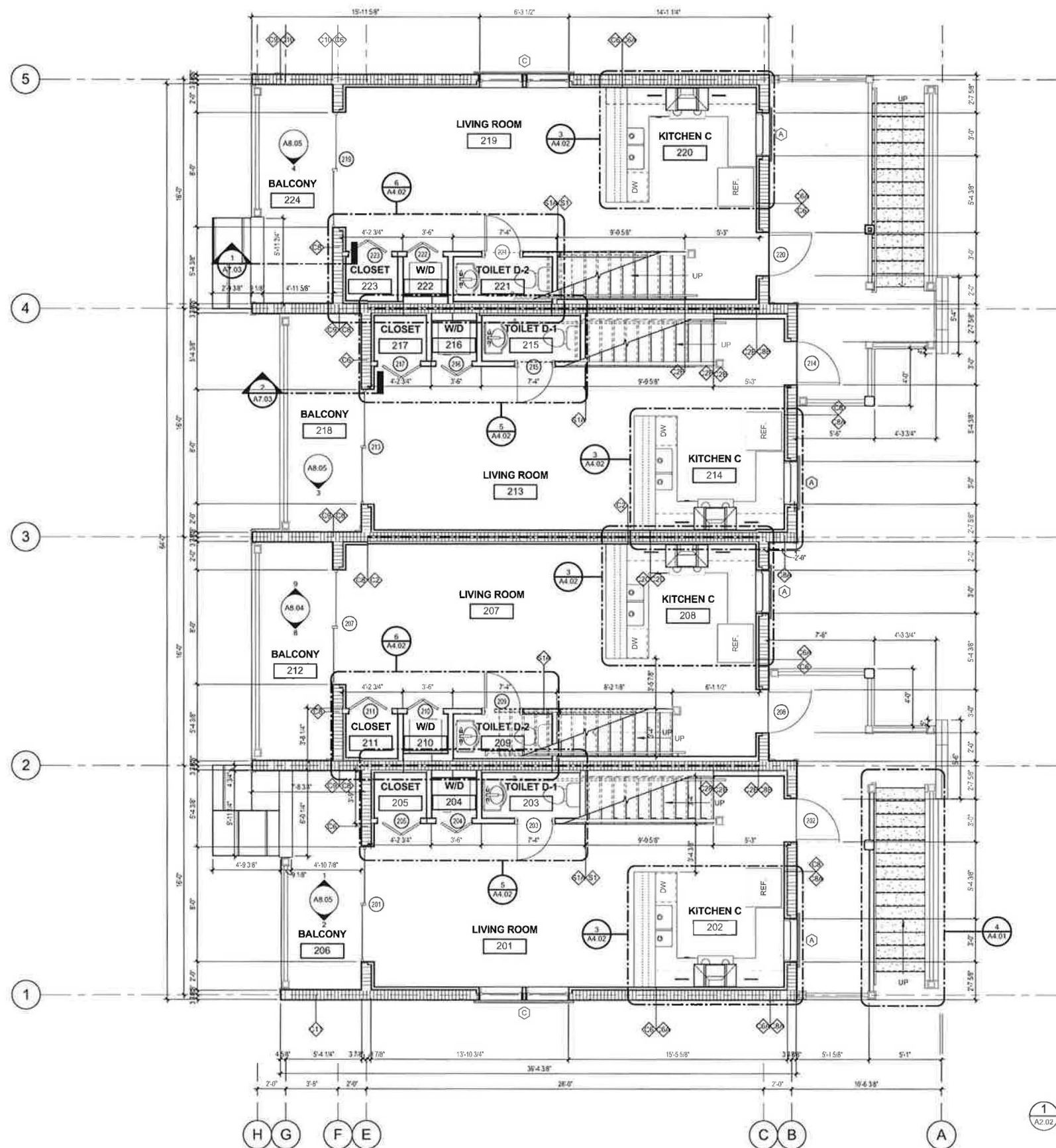
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DRAWING NUMBER
A3.02

PERMIT SET- 03/01/2016

1	FIRST
A2.01	1/4" = 1'-0"

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1 SECOND FLOOR PLAN ENLARGED
A2.02 1/4" = 1'-0"



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SCALE

PROJECT TITLE

UPTOWN
ATLANTIC -
TOWN HOUSE
700 BLOCK -
1/2/1

700 BLOCK W. ATLANTIC
AVE., DELRAY BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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121108

DRAWING TITLE

SECOND FLOOR
PLAN

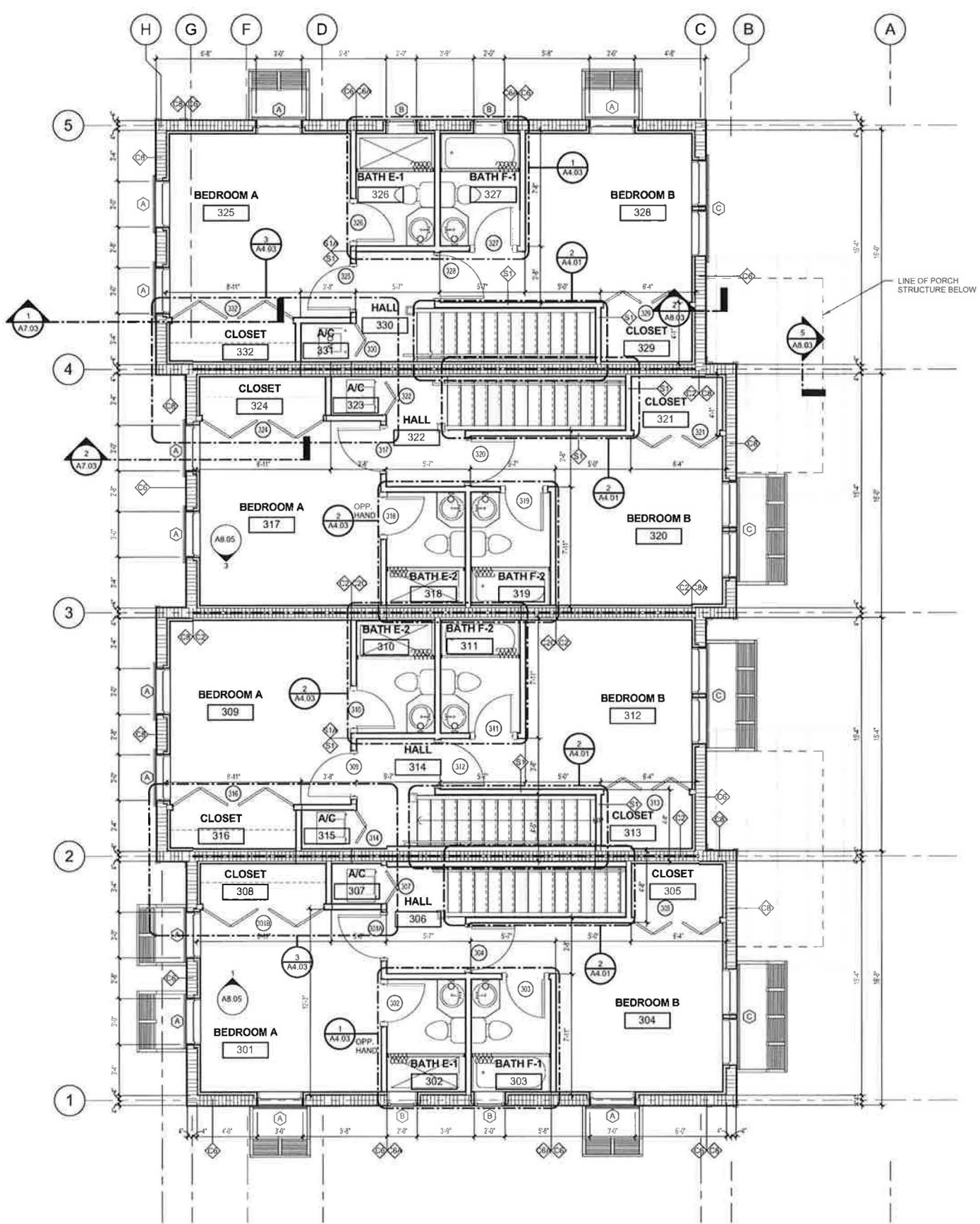
DATE 12/16/2015 DRAWN BY M.M.

JOB NUMBER
121108

DRAWING NUMBER

A2.02

PERMIT SET- 01/05/2016



1 THIRD FLOOR PLAN ENLARGED
A2.03 1/4" = 1'-0"



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PROJECT TITLE

BIDS 00/00/0000

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CONSTRUCTION

1544

PROJECT TITLE
UPTOWN
ATLANTIC -
TOWN HOUSE
700 BLOCK -
1/2/1

700 BLOCK W. ATLANTIC
AVE, DELRAY BEACH, FL

REVISIONS

NUM	DESCRIPTION	DATE
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FILE NUMBER

DRAWING TITLE

THIRD FLOOR
PLAN

DATE 12/16/2015

JOB NUMBER 121108

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A2.03

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SEAL

PROJECT TITLE

UPTOWN
ATLANTIC -
TOWN HOUSE
700 BLOCK -
1/2/1

700 BLOCK W. ATLANTIC
AVE. DELRAY BEACH, FL

REVISIONS		
NUM	DESCRIPTION	DATE

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FILE NUMBER

DRAWING TITLE

ROOF PLAN

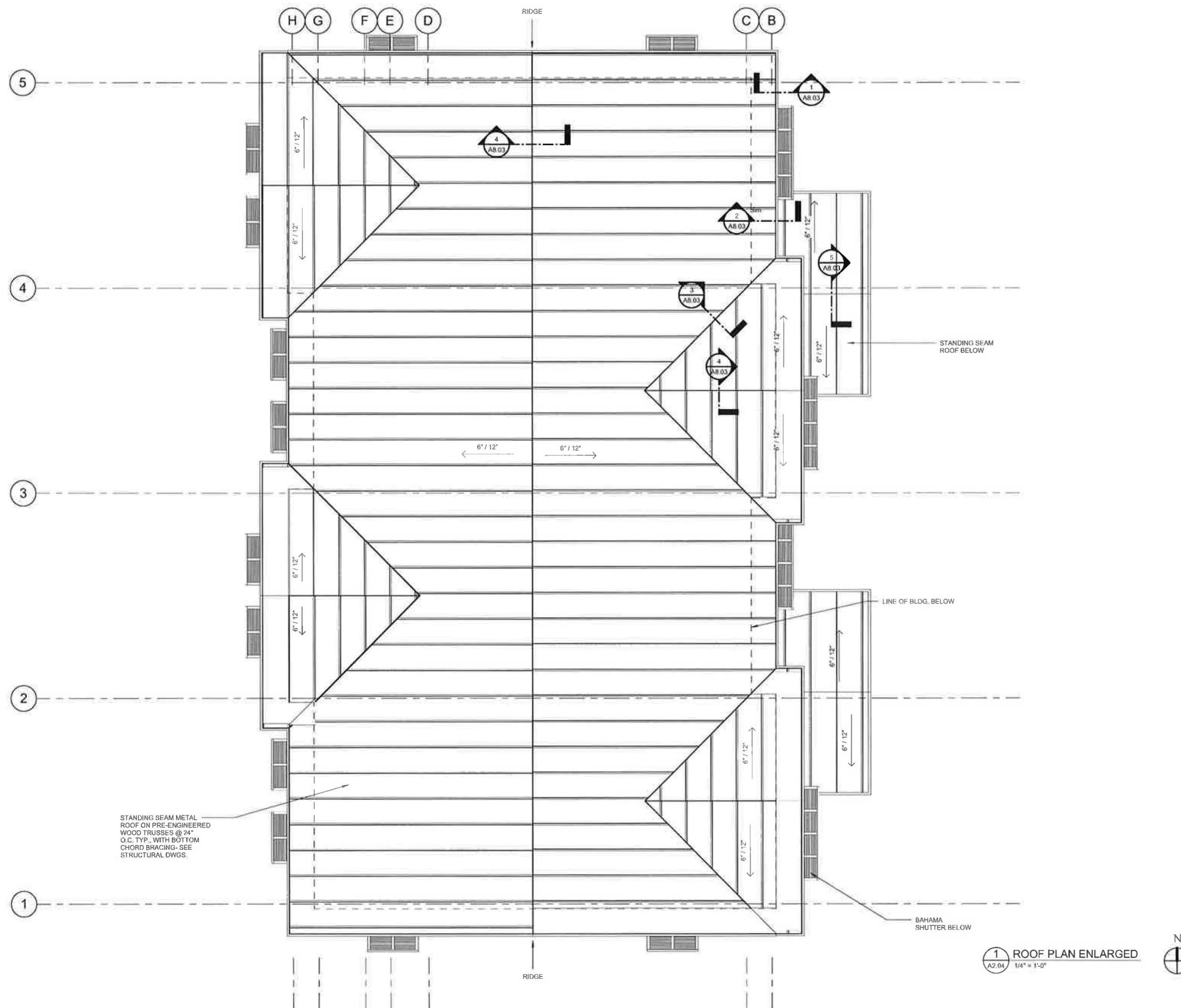
PERMIT SET- 01/05/2016

DATE	CREATED BY
12/16/2015	JC

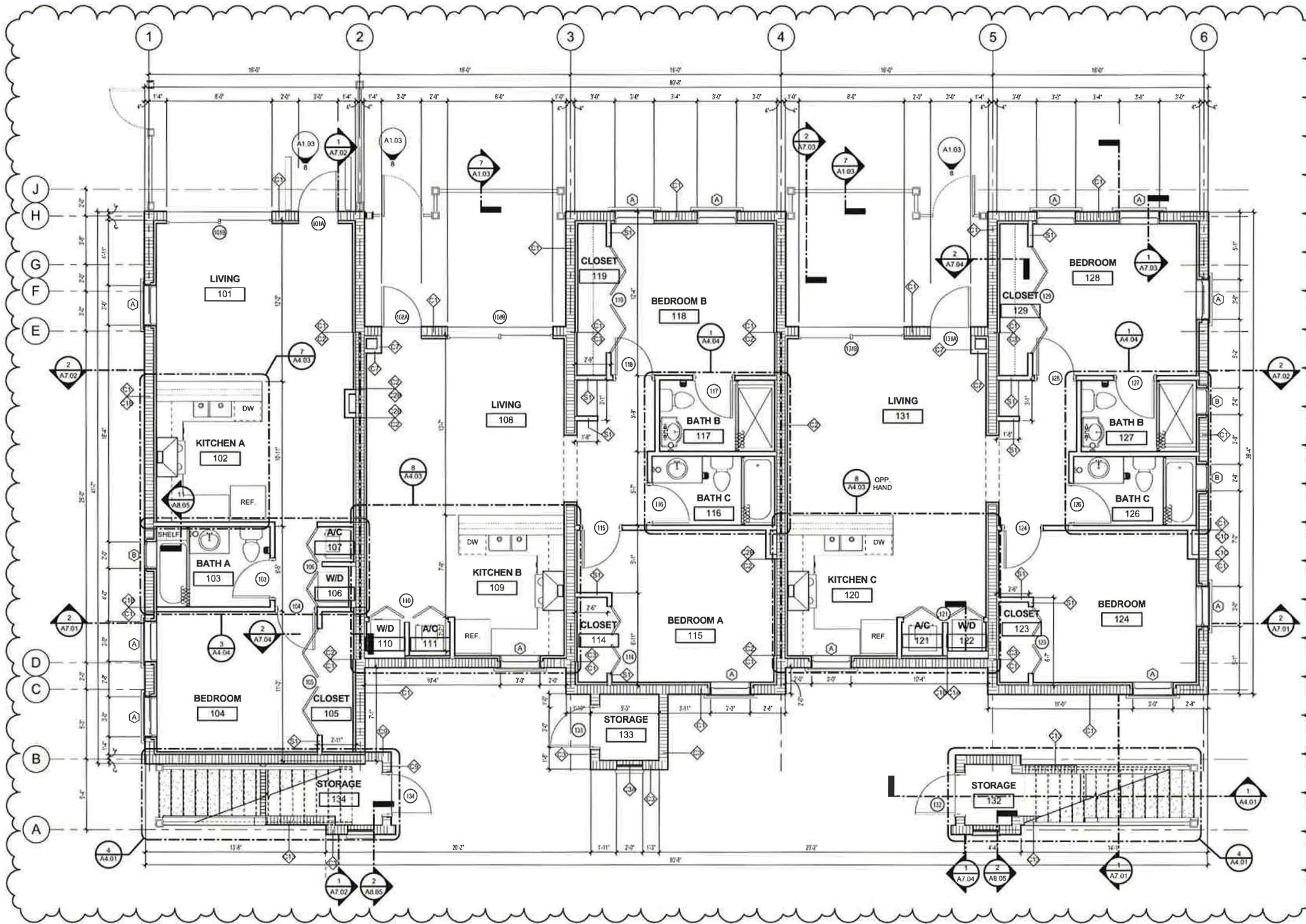
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A2.04



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6/17/2016 2:46:12 PM



1 FIRST FLOOR PLAN
A2.01 1/4" = 1'-0"



PERMIT SET- 03/01/2016

PROJECT TITLE
UPTOWN
ATLANTIC- TOWN
HOUSE 700
BLOCK - 2/2/1

700 BLOCK W. ATLANTIC
AVE.
DELRAY BEACH, FL

NUM.	DESCRIPTION	DATE
1	BLDG CMNTS/COORD	6-15-16

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DRAWING TITLE
FIRST FLOOR
PLAN

DATE
01/20/2016
JOB NUMBER
121108
DRAWING NUMBER

A2.01



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SEAL

PROJECT TITLE

**UPTOWN
ATLANTIC- TOWN
HOUSE 700
BLOCK - 2/2/1**

700 BLOCK W. ATLANTIC
AVE.
DELRAY BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
1	BLOG CMNTS/COORD	6-15-16

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FILE: A2.02

DRAWING TITLE

**SECOND FLOOR
PLAN**

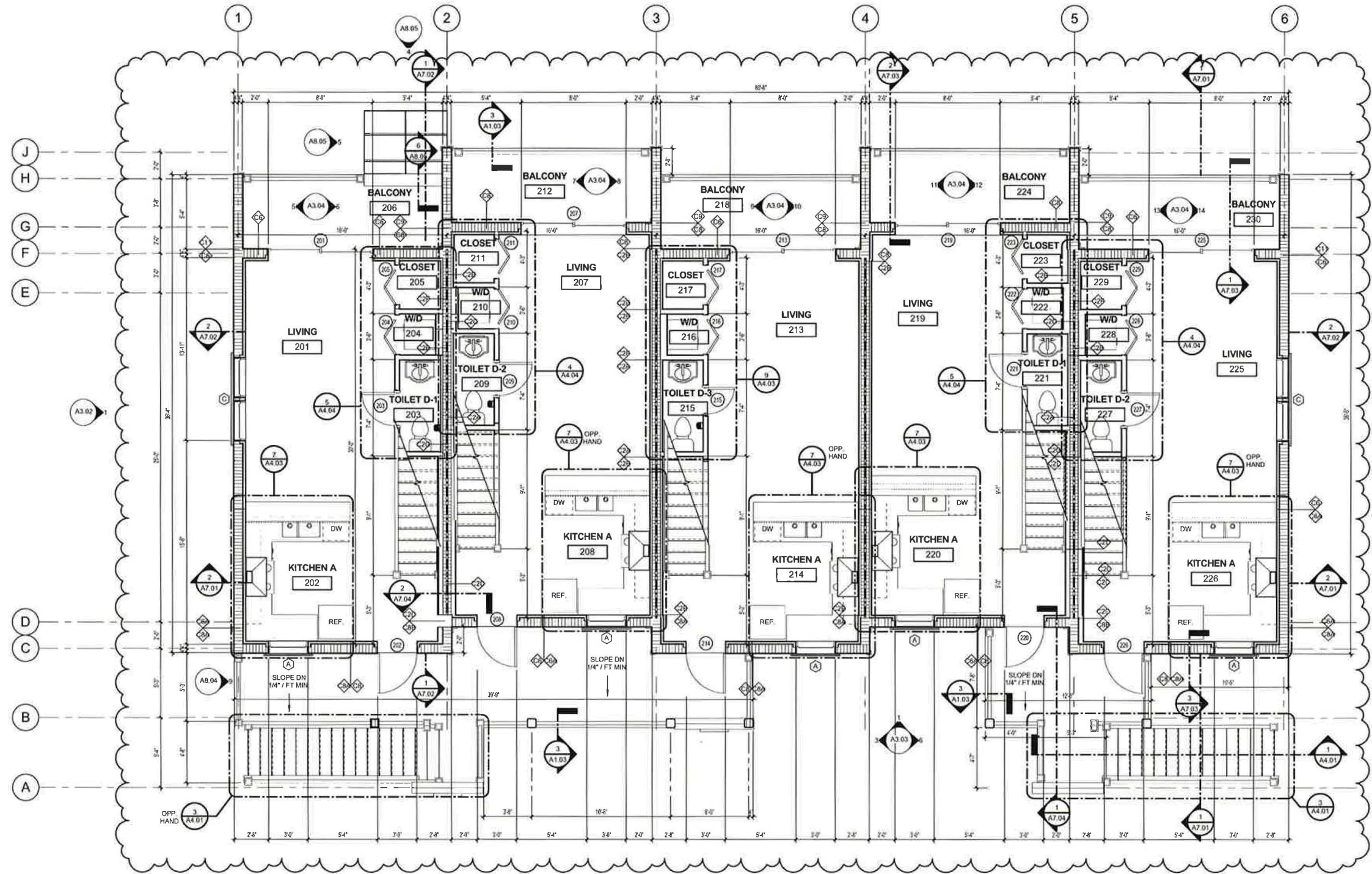
DATE 01/20/2016 DRAWN BY M.M.

JOB NUMBER

121108

DRAWING NUMBER

A2.02



1 SECOND FLOOR PLAN
A2.02 1/4" = 1'-0"



PERMIT SET- 03/01/2016



100%

LAL

A2.03



PERMIT SET- 03/01/2016

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PROJECT TITLE

UPTOWN
ATLANTIC- TOWN
HOUSE 700
BLOCK - 2/2/1

700 BLOCK W. ATLANTIC
AVE.
DELRAY BEACH, FL

REFERENCES

NUM.	DESCRIPTION	DATE
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TABLE 10.10

CRAWFORD HILL

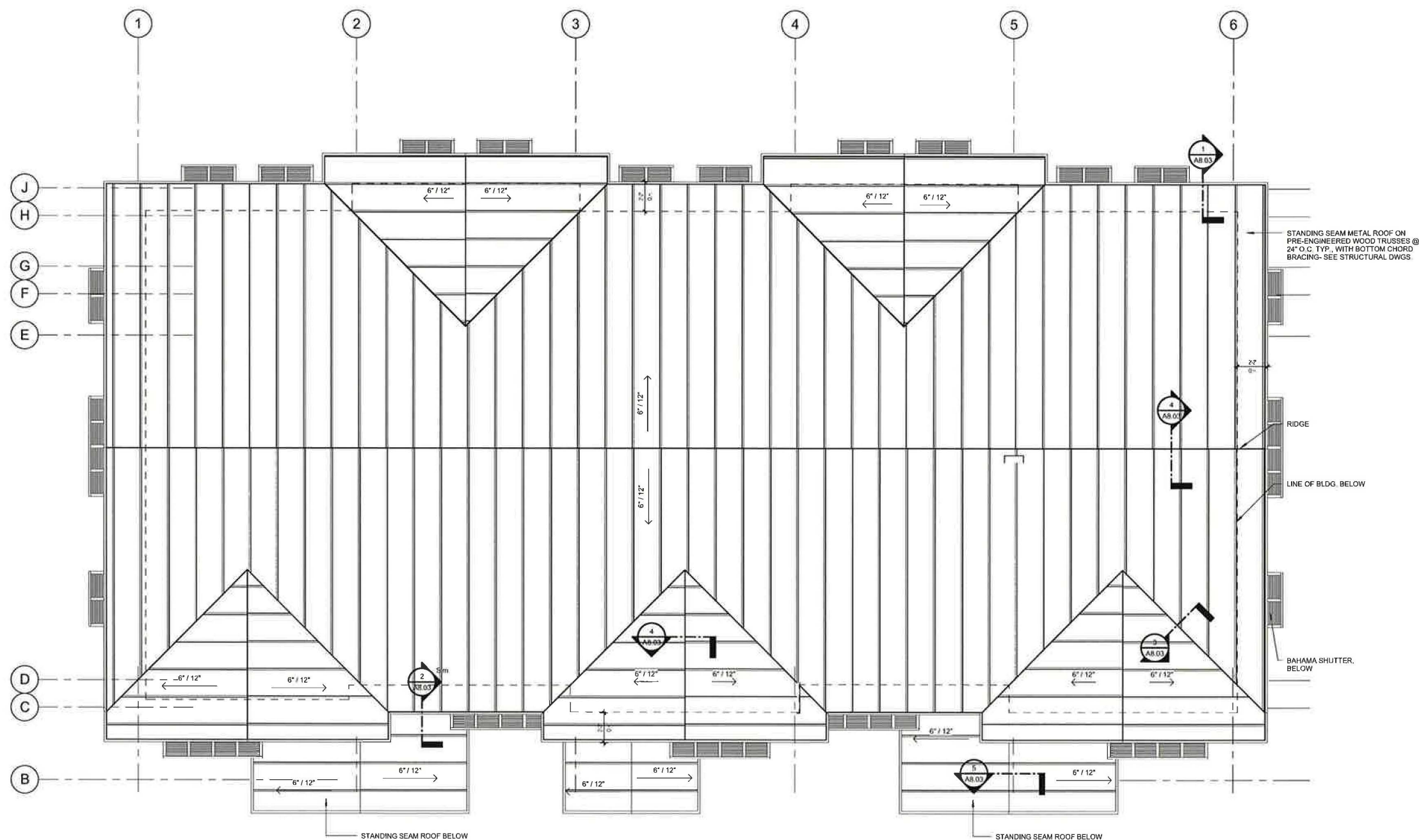
ROOF PLAN

DATE	DRAWN BY
01/20/2016	M.M.

JOB NUMBER
121108

DRAWING NUMBER

A2.04



1 ROOF PLAN
A2.04 1/4" = 1'-0"



PERMIT SET- 03/01/2016

An architectural rendering of a modern, two-story commercial building. The building features a mix of white, light green, and orange accents. It has large glass windows on the ground floor and a balcony on the second floor. Several palm trees are planted in front of the building. In the foreground, there is a parking lot with several cars, including a blue sedan, a silver sedan, and a blue minivan. People are walking on the sidewalk in front of the building. The sky is blue with some clouds.

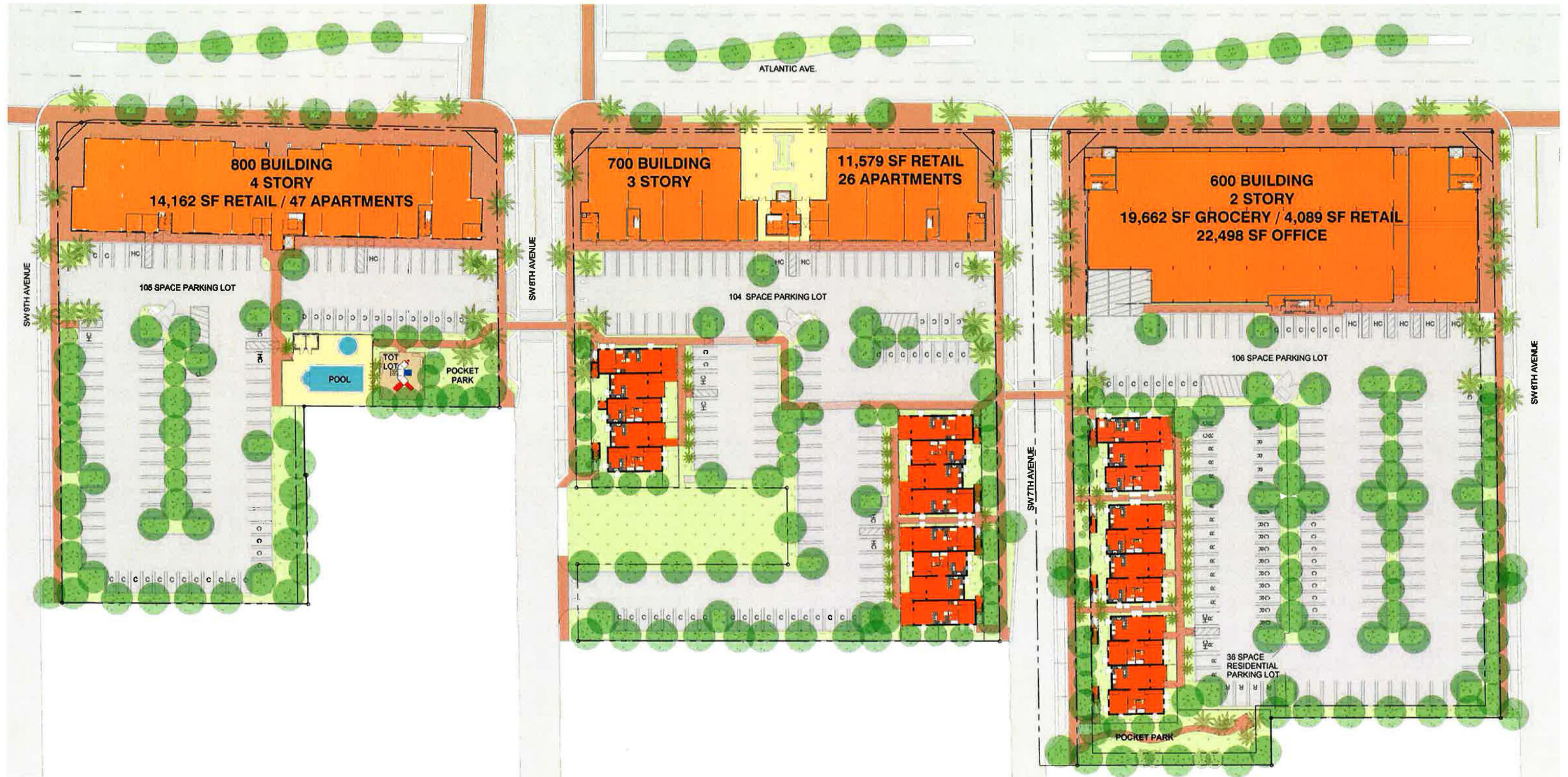
GROCERY STORE & OFFICES



700 BLOCK



TOWNHOUSES





UPTOWN DELRAY LLC

AERIAL

10/30/18

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UPTOWN DELRAY LLC

600 BLOCK - GROCERY STORE & OFFICES

10/30/18





UPTOWN DELRAY LLC

600 BLOCK, VIEW FROM THE SOUTH

10/30/18

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UPTOWN DELRAY LLC

700 BLOCK, RETAIL 2 FLOORS OF APARTMENTS

10/30/18





UPTOWN DELRAY LLC

700 BLOCK, VIEW FROM THE SOUTH

10/30/18

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UPTOWN DELRAY LLC

800 BLOCK, DETAIL, 3 STORIES OF APARTMENTS

10/30/18





UPTOWN DELRAY LLC

800 BLOCK, VIEW FROM THE SOUTH

10/30/18

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ATTACHMENT
IV

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Uptown Delray, LLC												
NOI / Lease up Proforma												
Inception thru Year 11												
Cash Flow Summary	%	YR1	YR 2	YR 3	YR 4	YR 5	YR 6	YR 7	YR 8	YR 9	YR 10	YR 11
Project Costs		(17,553,128)	(17,553,128)	(17,553,128)								
NOI												
Lease Up Utilization (%)			15%	93%	100%	100%	100%	100%	100%	100%	100%	100%
Lease Up		0	(8,754)	2,099,520	3,354,268	3,457,963						
Stabilized NOI							3,561,701	3,668,552	3,778,609	3,891,967	4,008,726	4,128,988

Uptown Delray Development Costs Detail Schedule

(Excludes Interest Reserve)

Category	Unit	\$/GLA	Amount
Land		\$23.46	\$4,150,000
Site Work		\$34.32	6,071,057
Building Costs		\$148.40	26,253,362
Vanilla Box & TI		\$19.06	3,372,485
Purchased Parking		\$1.14	202,500
Hard Cost Contingency	5.00%	\$10.15	1,794,970
Permits & Fees	4.73%	\$9.59	1,696,247
Architectural & Engineering		\$12.78	2,261,662
General & Administrative		\$3.11	550,000
Development Fee	2.00%	\$4.04	713,938
Marketing & Advertising		\$0.57	100,000
RE Taxes (Before TCO)	2.19%	\$0.80	141,524
Soil Borings / Testing		\$0.28	50,000
Insurance	1.25%	\$2.54	448,743
Survey		\$0.11	20,000
Legal & Professional		\$0.85	150,000
Legal & Diligence - Loan		\$0.85	150,000
Leasing Commissions		\$10.20	1,803,957
Soft Cost Contingency	5.00%	\$2.08	368,607
Title Insurance	0.20%	\$0.30	52,659
Lender Fee-Const Loan	2.00%	\$2.98	526,594
Advisor Fee-Const Loan	1.00%	\$1.49	263,297
Doc Stamps-Const Loan	0.55%	\$0.82	144,813
Total			\$51,286,415

Uptown Delray Project Costs Summary	
Land	\$4,150,000
Hard	37,694,374
Soft	9,442,041
Int. Reserve / Working Capital	1,372,970
Total	\$52,659,385